



Planning Committee
Monday, 2nd February, 2026 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

1. **Decision on applications** (Pages 2 - 169)

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

2 February 2026

Agenda Item 9



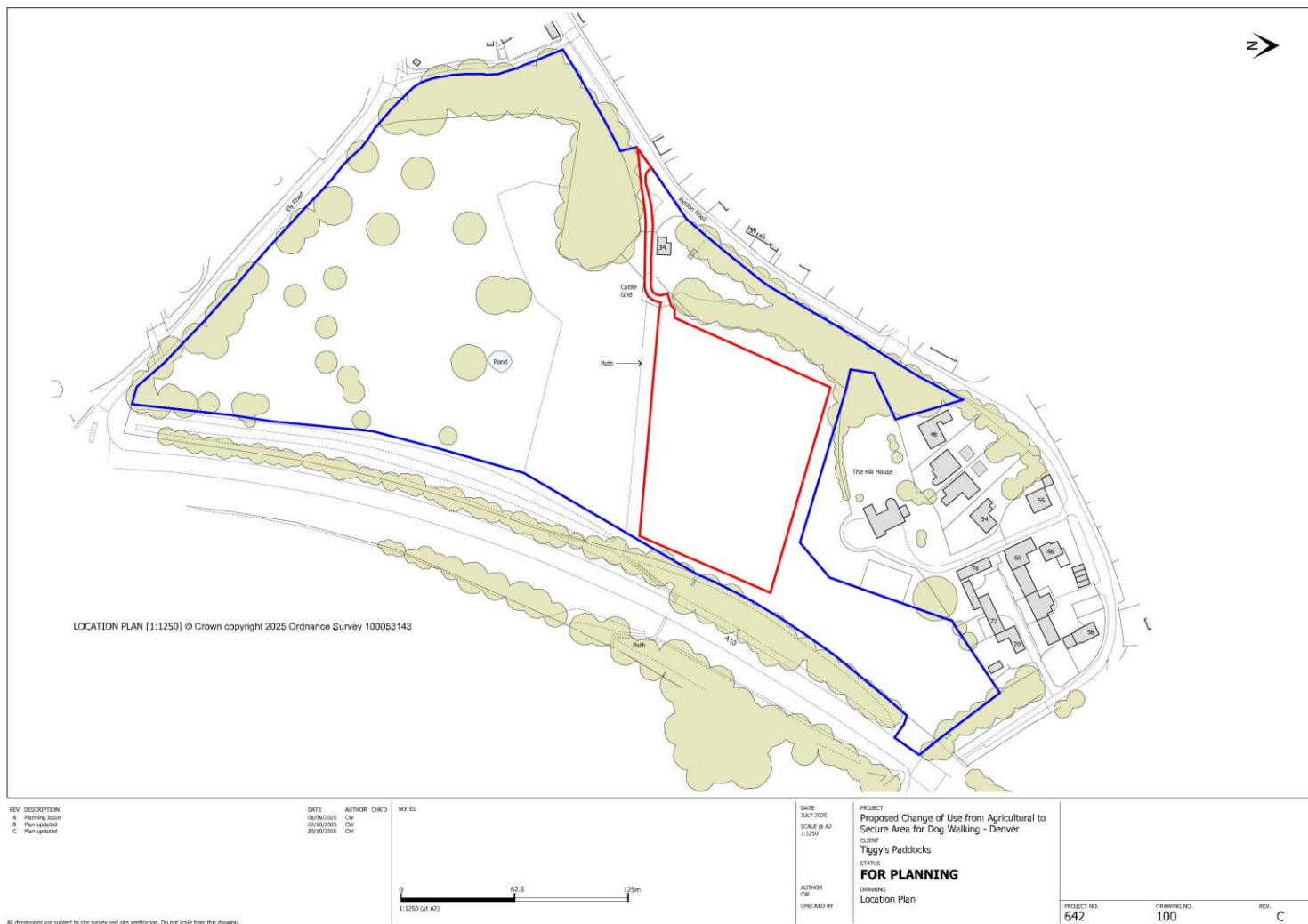
25/01552/FM

3





4





REV DESCRIPTION
1. Initial Issue
2. Final Issue

DATE AUTHOR CDS
10/01/2015 CW
10/01/2015 CW

NOTES

1:1000 (at A1)

DATE
10/01/2015
SCALE @ A1
1:1000

PROJECT
Proposed Change of Use from Agricultural to Secure
Area for Dog Walking

CLIENT
Tiggy's Paddocks

CONTR
FOR PLANNING

DRAWING
PROPOSED BLOCK PLAN

PROJECT NO.
642

DRAWING NO.
101

REV.
C



KEY

Existing Trees

Proposed Tree Planting

Proposed Area for Secure Dog Walking/Exercise/Playing

Area of Handstanding 300mm deep excavation filled with compacted screenings

Grasscrete or Similar

2m High stock fencing with timber posts

Existing Access

Proposed Extension of Access Track to Secure Dog Exercise/Paddock to be Grass Stock Type to Minimise Visual Impact

Secure Gates to Parking Area

Secure Pedestrian/Guest Access

Parking Area

Access for Paddock Maintenance

Passing/Waiting Place

PEDESTRIAN GATE 1:100



SECURE GATES TO PARKING AREA 1:100



GATES FOR MAINTAINING THE PADDOCK 1:100



2M HIGH STOCK FENCING WITH TIMBER POSTS 1:100

REV DESCRIPTION

1. Initial Design

2. Final Design

3. Final Design

4. Final Design

5. Final Design

6. Final Design

7. Final Design

DATE

10/01/2025

10/01/2025

10/01/2025

10/01/2025

10/01/2025

10/01/2025

AUTHOR

DM

DM

DM

DM

DM

DM

CHECKED

DM

DM

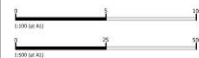
DM

DM

DM

DM

NOTES



DATE

10/01/2025

10/01/2025

10/01/2025

AUTHOR

DM

DM

DM

CHECKED BY

DM

DM

DM

PROJECT

Proposed Change of Use from Agricultural to Secure Area for Dog Walking, Denver

CLIENT

Tiggy's Paddocks

FOR PLANNING

PROPOSED SITE PLAN

PROJECT NO.

642

DRAWING NO.

102

REV

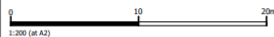
E



REV DESCRIPTION
A Planning Issue
B Plan Updated
C Plan Updated

DATE AUTHOR CHKD
04/06/25 CW
26/10/25 CW
26/10/25 CW

NOTES



DATE SCALE @ A2
JULY 2025 1:100

PROJECT Proposed Change of Use from Agricultural to Secure Area for Dog Walking, Denver
CLIENT Tiggy's Paddock

STATUS
FOR PLANNING
DRAWING
Detailed Plan

AUTHOR CW
CHECKED BY

PROJECT NO.
642

PLANNING NO.
103

REV
C

All dimensions are subject to site survey and site verification. Do not scale from this drawing.

8



View north at Ryston Road



6



View east at Ryston Road at access to the site

10



11



Access into the site and No 34 Ryston Road

12



Access into the site





View along the west boundary of the application site

14



15



View looking northwest from application site



16



View looking north from application site



17



View looking northeast from application site



18



View looking east from application site



19



View looking southeast from application site



20



View looking south from application site



21



View looking southwest from application site



22



Closer view of Hill House (north of application site)



23



Closer view of No 34 Ryston Road (west of application site)



25/01391/FM

24

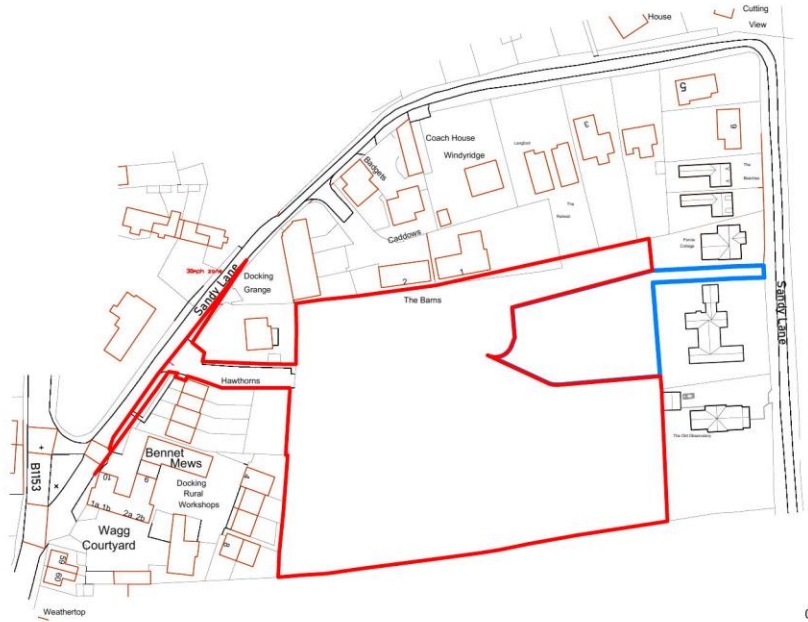


This drawing is to be read in conjunction with all other relevant drawings and specifications.

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25



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B	Red and blue lines updated	13-12-25	CWJ
A	Blue line added	27-08-25	CWJ
Rev	Description	Date	Checked
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Do not scale			
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Project:
Residential development
Land at Sandy Lane
Docking

Client:
Vello Limited

Project No: 2020658	Scale @ A3: 1/1250	Drawn By: CWJ
Title: Location Plan		
Drawing Number: 2020658 - 09		
Purpose of Issue: Planning Application		Revision: B

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Building Surveying | Architectural Design | Building Consultancy

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EAST ELEVATION AS PROPOSED
SCALE 1/100 @ A1



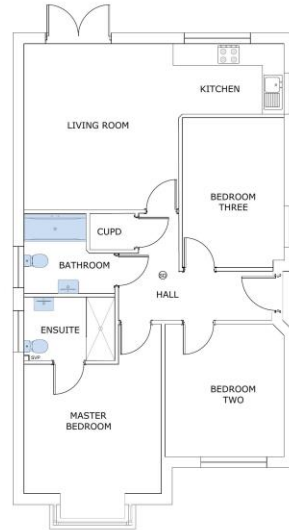
NORTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1



SOUTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1



WEST ELEVATION AS PROPOSED
SCALE 1/100 @ A1



FLOORPLAN AS PROPOSED
SCALE 1/50 @ A1

3 bed bungalow 86 sqm

- Roof
- Rainwater goods
- Fascia
- Brickwork
- Windows
- Doors

Clay Pantiles
Black upvc.
black upvc
Norfolk soft red multi.
Painted timber.
Composite

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Figure 1 displays four scale bars for different map scales. The first scale bar is for Scale 1:50, showing a range from 0m to 4m with major ticks every 1m. The second scale bar is for Scale 1:100, showing a range from 0m to 8m with major ticks every 2m. The third scale bar is for Scale 1:100, showing a range from 0m to 100m with major ticks every 25m. The fourth scale bar is for Scale 1:1250, showing a range from 0m to 100m with major ticks every 25m.

C	Bedrooms 2 & 3 enlarged	120-01-26	CMB
B	Pool amended and lot reflection shown	115-12-23	CMB
A	Island enclosed	107-11-24	CMB
Rev	Description	Date	Checked
Project No.	Scale @ 1/4" = 1'-0"	Drawn By	CMB



CW JOHNSON
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Building Surveying · Architectural Design · Building Consultancy

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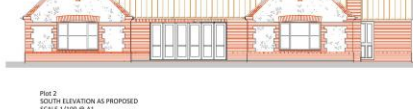
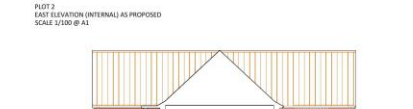
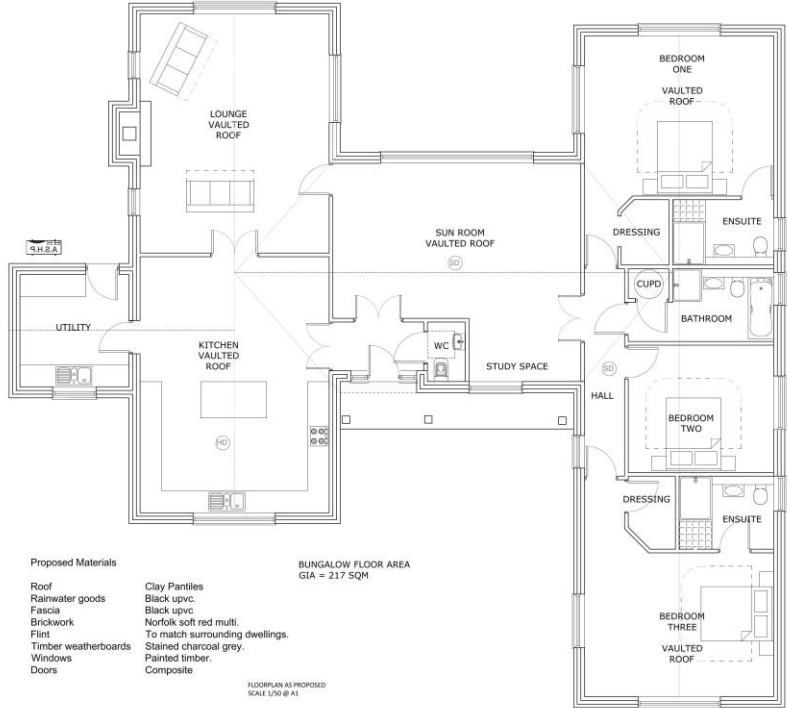
Residential Development
Land at Sandy Lane
Docking

Client:
Vello Limited

Title: _____

Drawing Number:
2020302 - 07

Purpose of Issue:	Revision:
Planning	C



A. Please send and let us submit your consent		13-10-2016	Chd
B. Please send and let us submit your consent		13-10-2016	Chd
Project No.	Scale & A/c.	Drawn By	CWB
2020070	As indicated		



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Building Surveying Architectural Design Building Consultancy

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Project:

**Residential Development
Land at Sandy Lane
Docking**

Client:

Vello Limited

Title:

Plots 2 As Proposed

Drawing Number:

20200702_06

Purpose of this Issue:

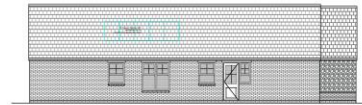
Planning

Revision:

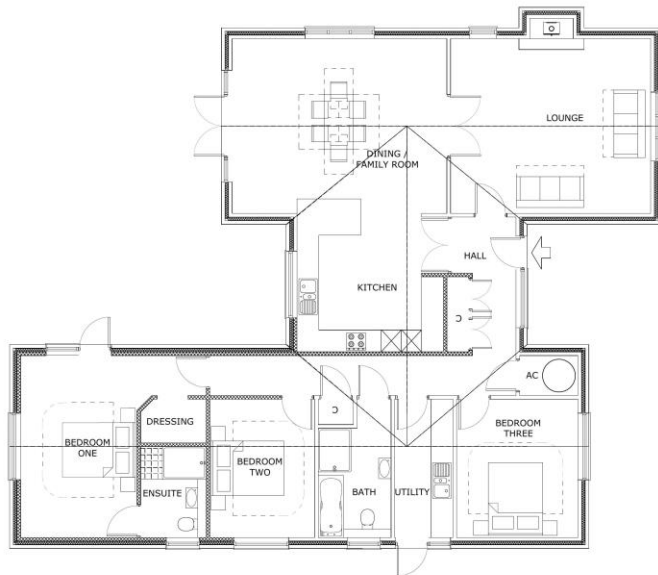
A



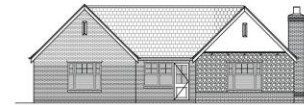
Ordnance Survey (c) Crown Copyright 2018. All rights reserved. Licence number 100022435



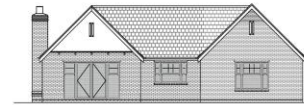
EAST ELEVATION AS PROPOSED
SCALE 1/100 @ A1



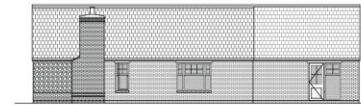
FLOORPLAN AS PROPOSED
SCALE 1/50 @ A1



NORTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1



SOUTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1



WEST ELEVATION AS PROPOSED
SCALE 1/100 @ A1

3 bed
bungalow
155 sqM
GIA

Proposed Materials

- Roof
- Rainwater goods
- Fascia
- Brickwork
- Flint
- Render
- timber weatherboards
- Windows
- Doors

Clay Pantiles
Black upvc.
Black upvc
Norfolk soft red multi.
To match surrounding dwellings
Through coat white
Stained charcoal grey.
Painted timber.
Composite.



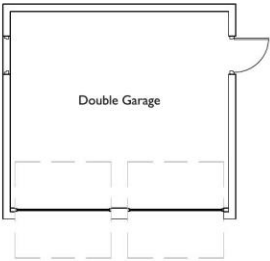




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Garages
33 sqM
GIA



Floor Plan

Proposed Materials

- Roof

Rainwater goods

Fascia

Brickwork

timber weatherboards

Doors
- Clay Pantiles

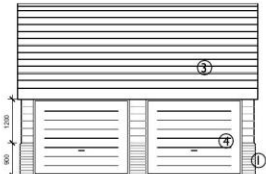
Black upvc.

Black upvc

Norfolk soft red multi.

Stained charcoal grey.

Composite.



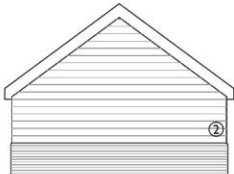
Front Elevation
Plot 2 - East
Plot 3 - West
Plot 4 - North
Plot 5 - West
Plot 6 - South



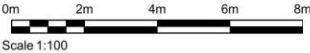
Side Elevation
Plot 2 - South (handed)
Plot 3 - South
Plot 4 - East
Plot 5 - South
Plot 6 - East



Rear Elevation
Plot 2 - West
Plot 3 - East
Plot 4 - South
Plot 5 - East
Plot 6 - North



Side Elevation
Plot 2 - North (handed)
Plot 3 - North
Plot 4 - West
Plot 5 - North
Plot 6 - West



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Rev	Description	Date	Checked
-	-	-	-
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Do not scale			

Project:
Residential development
Land at Sandy Lane
Docking

Client:
Vello Limited

Project No: 2020658	Scale @ A3: As shown	Drawn By: CWJ
Title: Garages		
Drawing Number: 2020658 - 12		
Purpose of Issue: Planning	Revision: -	

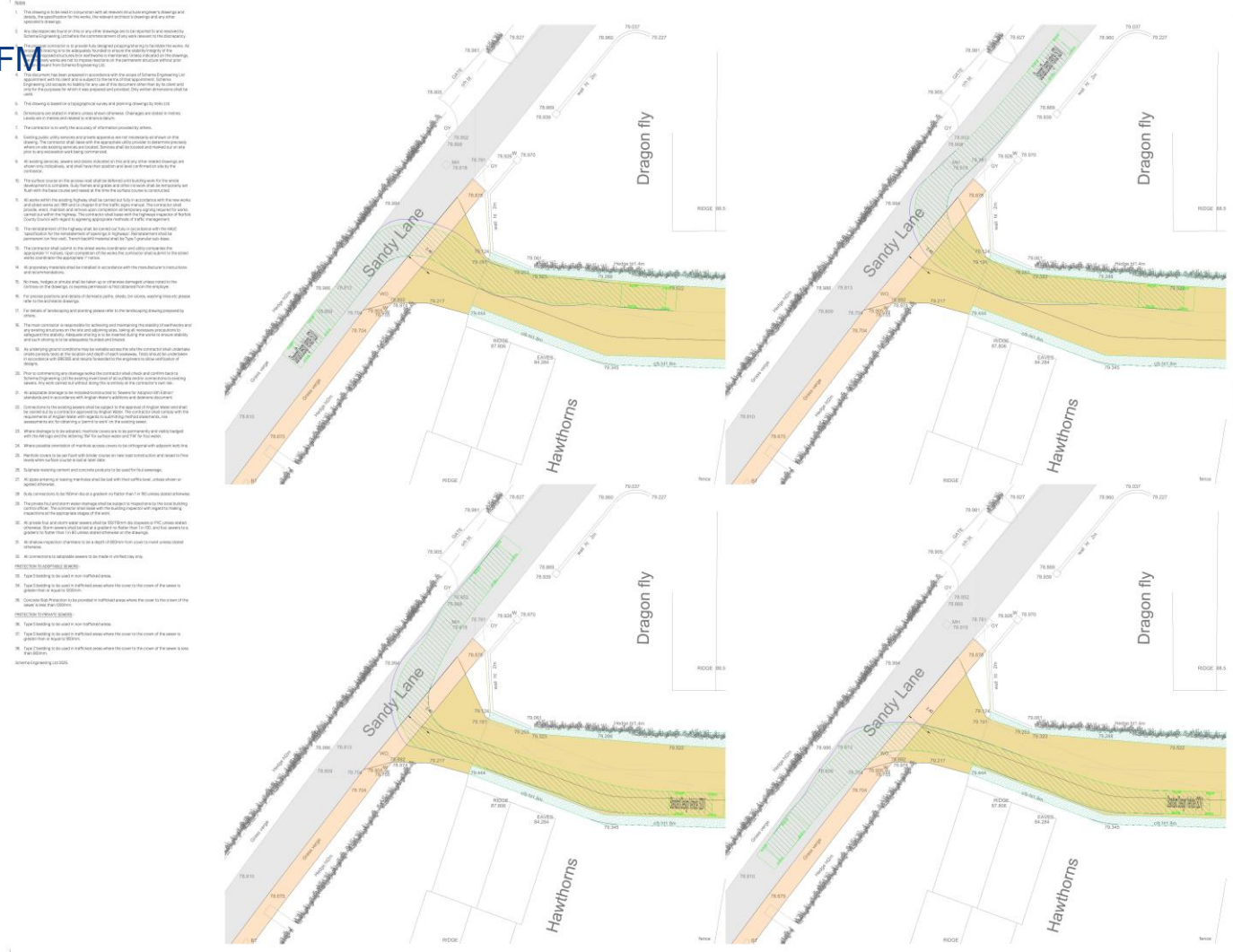
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[illegible]



36



37



View north along Sandy Lane access to right/centre



38



39



40



41



42





25/01684/F

44



45



Location Plan 1:1250

0 10 50m



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Please note this drawing was produced in colour.

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DRAWN ~ WMS

REVISED ~

CHECKED ~ NJB



ACS ARCHITECTURAL

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PE31 7FR
- T. 01485 532112
- E. info@acs-architectural.co.uk

Address

Little Congham House
Grimston Road
Congham
PE32 1DR

/// what3words
lousy.freedom.rested

Title

Location Plan

Date

(First Issued) (Last Revision)
31.10.24 00.00.00

Paper

A4

Drawing No.

923/24/00

Rev.

0

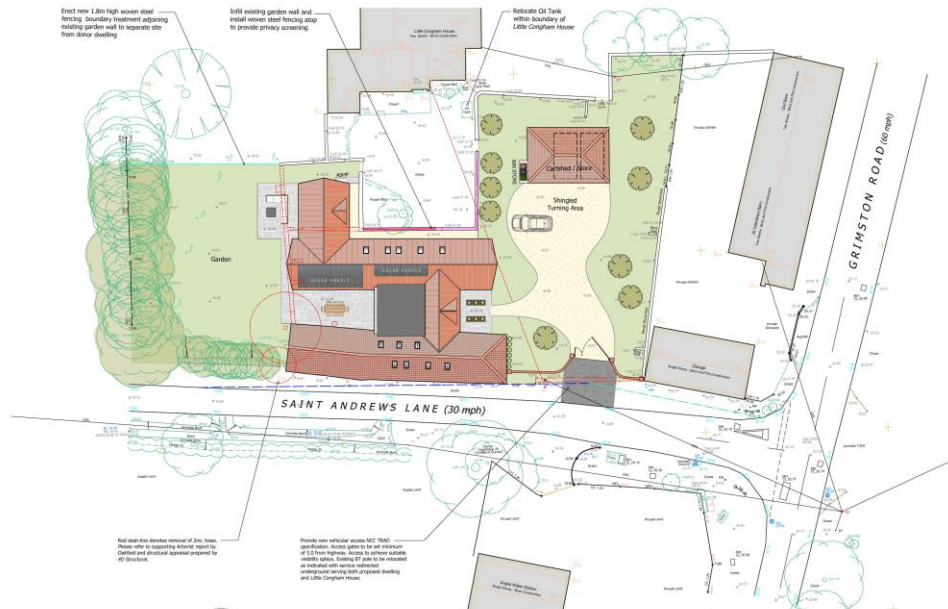
25/01684/F

46



South Elevation & Street Scene 1:100

0 1 5m



Site Plan 1:200

0 2 10m

**Proposed Materials**

- Facing brickwork
- Carrstone infill panels
- Vertical natural timber cladding
- Natural clay pantiles
- Natural clay peg/pin tiles
- Red zinc/metal standing seam roof
- Grey flat roof system
- Black/dark grey aluminium windows
- Black/dark grey aluminium doors



UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Spenborough
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Project
Proposed Conversion & Extensions
Little Coningham House
Grimston Road
Coningham
PE32 1DR

Photoshows
Plans/Drawings/Reports

Title
Proposed Site Plan
& Street Scene

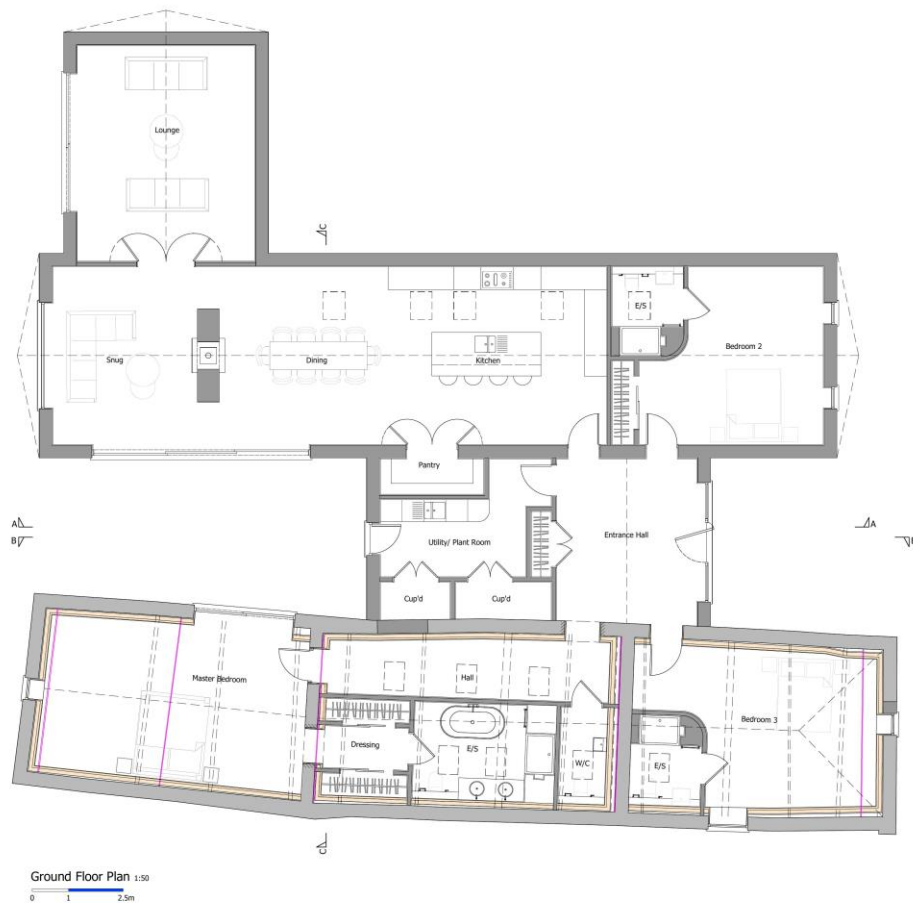
Date
This drawing: 31.07.25
Last revision: 13.11.25

Drawing No.
923/24/11

Paper
A1
Rev.
A

25/01684/F

47

**NOTE**

Engineer to advise upon removal/repositioning of historic steel tie-rod and anchor plates

Engineer to advise upon structural integrity of existing walls and suitability of existing foundations for convertibility.



ACS ARCHITECTURAL

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Project
Proposed Conversion & Extensions
Little Coningham House
Grimston Road
Coningham
PE32 1DR

■ photographs
■ walls to be removed

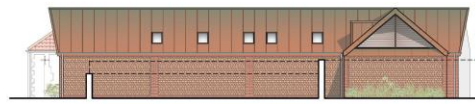
Title
Proposed Floor Plan

Date **Paper**
11.07.25 A1

Drawing No. **Rev.**
923/24/12 0



East Elevation 1:100
0 1 5m



North Elevation



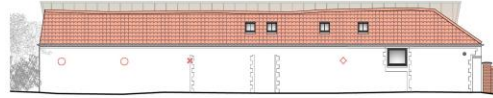
South Elevation & Section



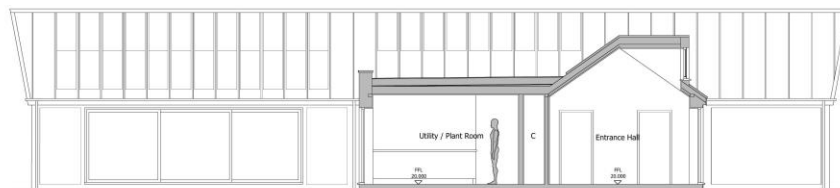
West Elevation



North Elevation & Section



South Elevation



Section A-A 1:50
0 1 2.5m

Proposed Materials

- Facing brickwork
- Cornstone infill panels
- Vertical natural timber cladding
- Natural clay pantiles
- Natural clay peg/pin tiles
- Red zinc/metal standing seam roof
- Grey flat roof system
- Black/dark grey aluminium windows
- Black/dark grey aluminium doors

NOTE

Engineer to advise upon removal/repositioning of historic steel tie-rod and anchor plates

Engineer to advise upon structural integrity of existing walls and suitability of existing foundations for convertibility.



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Project
Proposed Conversion & Extensions
Little Gingham House
Grimston Road
Grimston
PE32 1DR

✉ whol3wards
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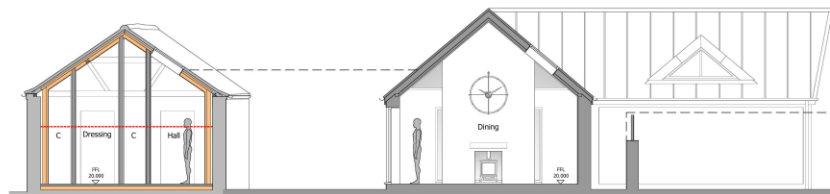
Title
Proposed Elevations & Section

Date 28/07/25
Paper A1

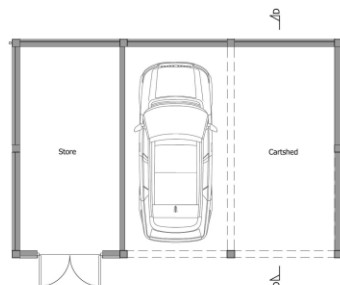
Drawing No. 923/24/13
Rev. 0



Section B-B 1:50
0 1 2.5m



Section C-C 1:50
0 1 2.5m



Cartshed/Store Floor Plan 1:50
0 1 2.5m



South Elevation 1:100
0 1 5m



West Elevation



East Elevation

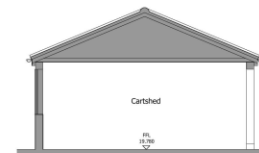


North Elevation

NOTE

Engineer to advise upon removal/repositioning of historic steel tie-rod and anchor plates

Engineer to advise upon structural integrity of existing walls and suitability of existing foundations for convertibility.



Section D-D 1:50
0 1 2.5m

Proposed Materials

- Facing brickwork
- Cornstone infill panels
- Vertical natural timber cladding
- Natural clay pantiles
- Natural clay peg/pin tiles
- Red zinc/metal standing seam roof
- Grey flat roof system
- Black/dark grey aluminium windows
- Black/dark grey aluminium doors



ACS ARCHITECTURAL

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Project
Proposed Conversion & Extensions
Little Gingham House
Grimston Road
Grimston
PE32 1DR
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Title
Proposed Sections, Cartshed Plan,
Elevations and Section

Date
Rev. Issued Date Issued
13.07.25 A1 13.11.25

Drawing No.
923/24/14 A

50



Looking east to the junction between the B1153 and St Andrews Lane



51



52



Looking west from the application site



53



54



55



56



57



58



Looking southeast to the existing outbuilding and the yew tree (T1)



Relationship between the outbuilding to the yew tree (T1)



On site looking to the cherry plum tree
(G1/T2)



Looking towards the cherry plum tree
(G1/T2) from St Andrews Lane

09



On site looking south (proposed access)



61



62



On site looking northeast





On site looking towards Owl Barn and St Valentines Barn
(northeast)



64



On site looking west



65



On site looking towards Little Congham House (north)



65



On site looking west





On site looking north (towards the amenity space of Little Congham House)



68



On site looking northeast



69



On site looking towards Little Congham House (north)



Speaker Slide - Nick Borrman

70



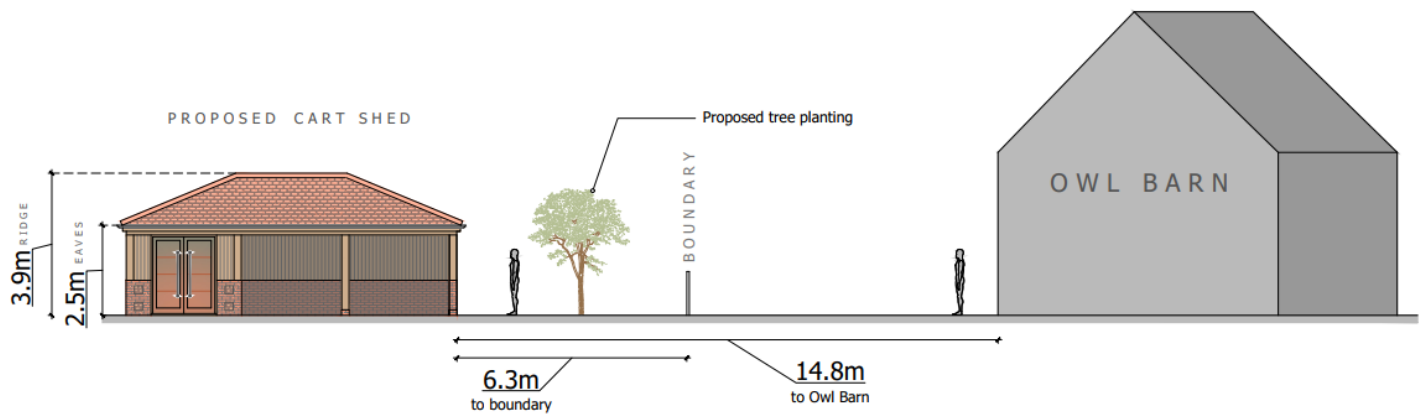
Proposal Attributes

- Re-use & Preserve A Non-Designated Heritage Asset in a prominent location.
- Within Development Boundary - the provision of a new dwelling via-conversion and extension is sustainable.
- Single Storey Extensions - minimal impact.
- Extensions "contained within site" having minimal impact on established street scene.
- Contemporary, simplistic form with materials and colour of local vernacular.
- Sub-division ensures ample amenity and facilities are retained for donor dwelling and the conversion.
- Built form (including existing outbuilding) accommodates only **23.7%** of the plot area.



- Proposals accord with Dark Skies policies by limited glazing at high-level and utilising overhangs and louvres.
- Distances and scale ensure no detrimental impact on neighbouring amenity.

73

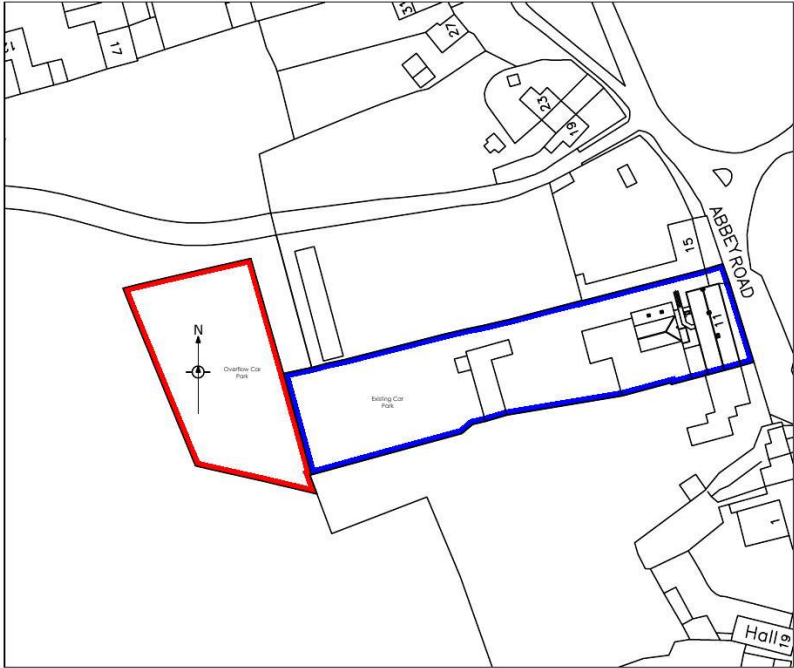


25/01974/F

74

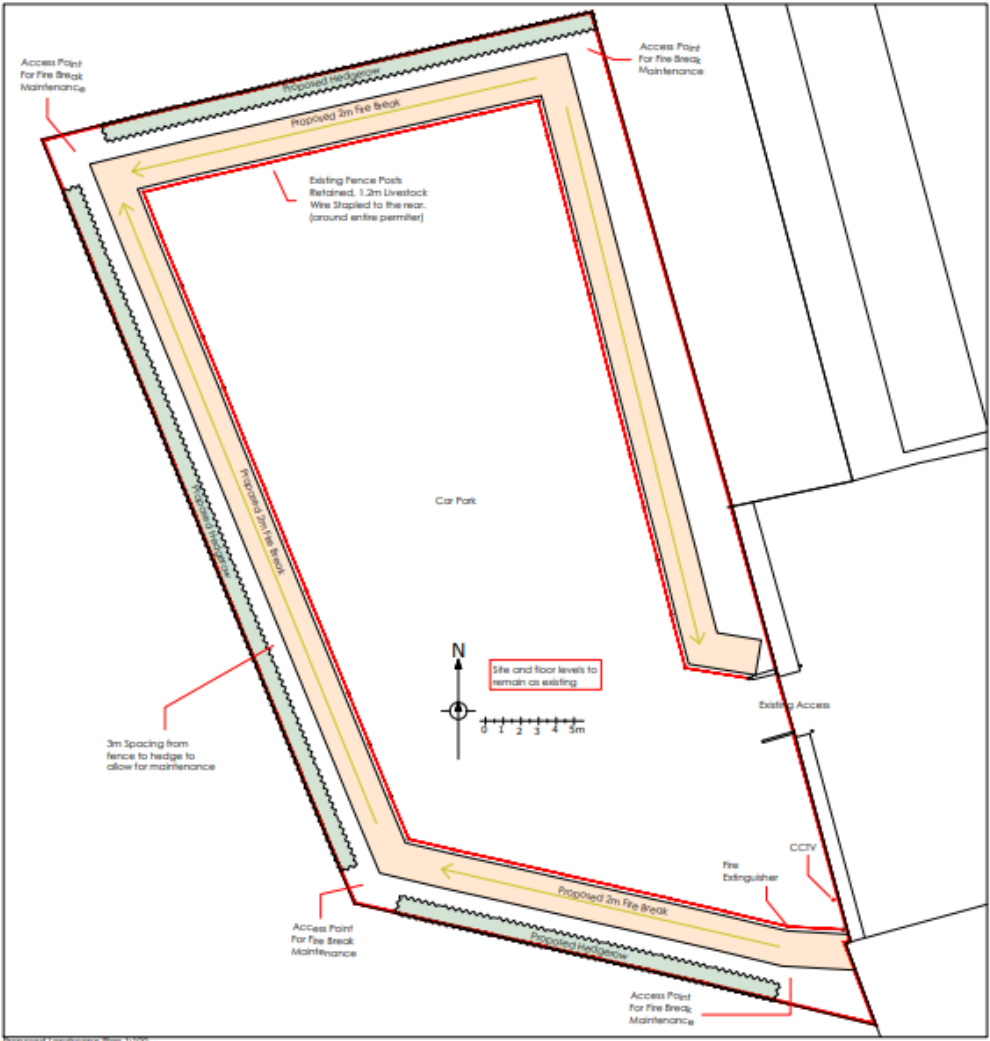


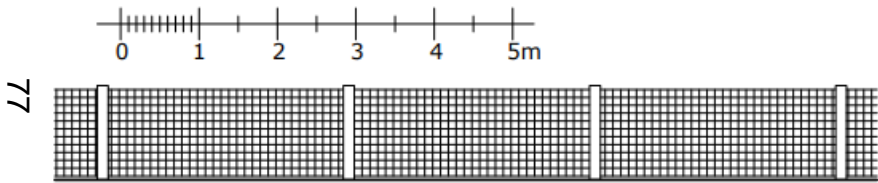
75



Location Plan 1:1250

Date:		Revision:	Description:	
<div><div>Vertex Architecture</div><div>Planning / Architectural Design / Consultancy</div><div>10 Queen Street, Norwich, Norfolk NR2 4SQ</div></div>				
Info@vertexarchitecture.co.uk 2 - 3 Northgate Precinct, Hunstanton, Norfolk PE36 6EA 10 Queen Street, Norwich, Norfolk NR2 4SQ				
Project: The Dabbling Duck, 11 Abbey Road, Great Massingham, Norfolk, PE32 2HN				
Subject: Car Park Existing Location Plan				
Date: December 2025		Scale: 1:1250 @A4		
Project No.: 22183		Drawing No.: 02		Revision: A

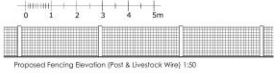
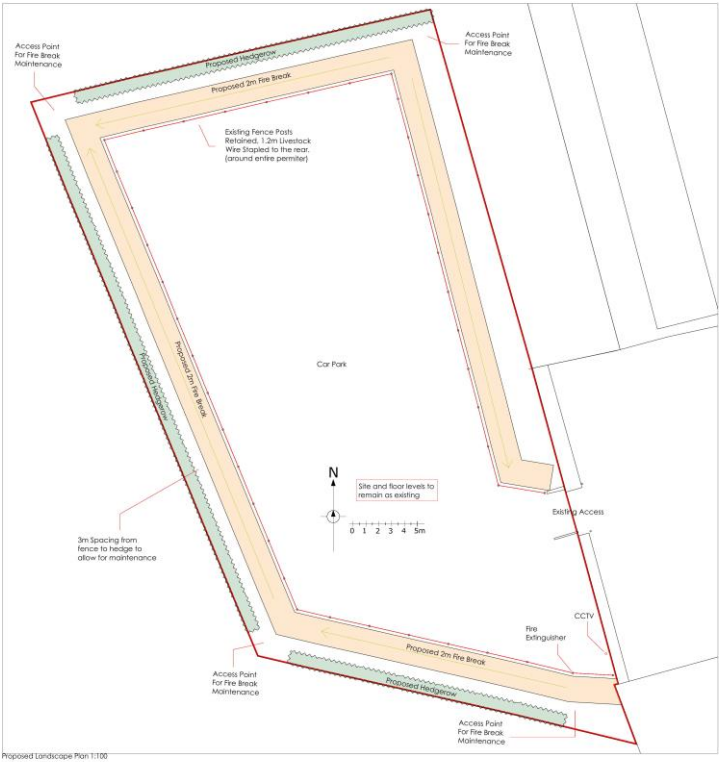




Proposed Fencing Elevation (Post & Livestock Wire) 1:50

- Proposed Hedgerow:
- Hawthorn - Circa 50%
 - Hazel - Circa 25%
 - Maple - Circa 25%

Date:	Revision:	Description:
 Planning / Architectural Design / Consultancy 01485 532385 01606 575466 VERTEXARCHITECTURE.CO.UK info@vertexarchitecture.co.uk 2 - 3 Northgate Precinct, Hunstanton, Norfolk PE36 6EA 10 Queen Street, Norwich, Norfolk NR2 4SQ		
Project: The Dabbling Duck, 11 Abbey Road, Great Massingham, Norfolk, PE32 2HN		
Subject: Car Park Proposed Landscape Plan		
Date: November 2025	Scale: 1:50, 1:100 @ A1	
Project No.: 22183	Drawing No.: 04	Revision:



Proposed Hedgehog:

- Hawthorn - Circa 50%
- Hazel - Circa 25%
- Maple - Circa 25%

Vertex Architecture

11 Abbey Road, Great Missingham, Norfolk, PE32 2HN

The Dabbling Duck, 11 Abbey Road, Great Missingham, Norfolk, PE32 2HN

Client: The Dabbling Duck

Project: Proposed Landscape Plan

Date: November 2025

Scale: 1:50, 1:100

Sheet: 22183 04





View from access across the site





View from access towards south west corner



25/01974/F

81



View from access towards south boundary





View from access towards south boundary, showing existing boundary treatment





View from access along east boundary

25/01974/F

83





Relationship of east boundary with rear of surrounding properties





Existing car park

25/01974/F

85



Speaker Slide – Linda Swallow

98





87

Field before use as overflow car park, AI generated from photo 2



88



Photo 2 taken on 21/9/25 @ 15.28 the overflow car park as we currently see it, original photo



Photo 3 showing an AI generated hedge height of 100cm spaced at 20cm, how it will look in autumn, winter and early spring, AI generated from original photo 2

25/01974/F

06



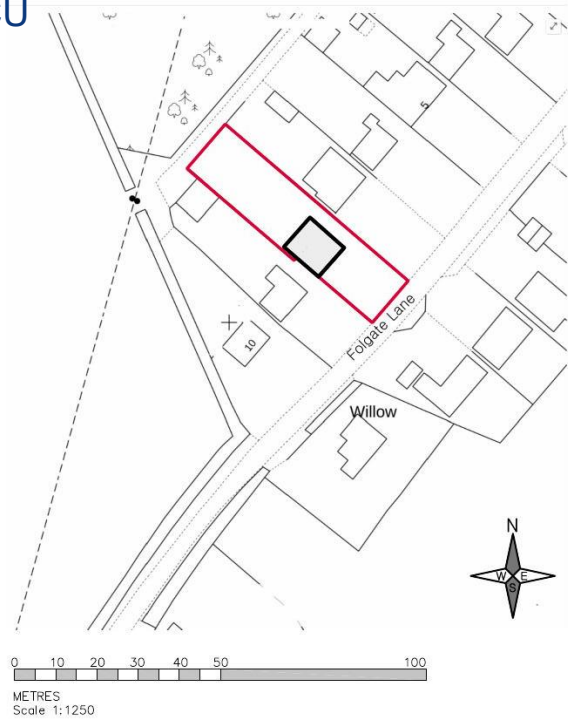
**Photo 4 showing AI generated evergreen hedge of 2m height, just the roofs of the vehicles are visible.
AI generated from photo 2**

25/01660/CU

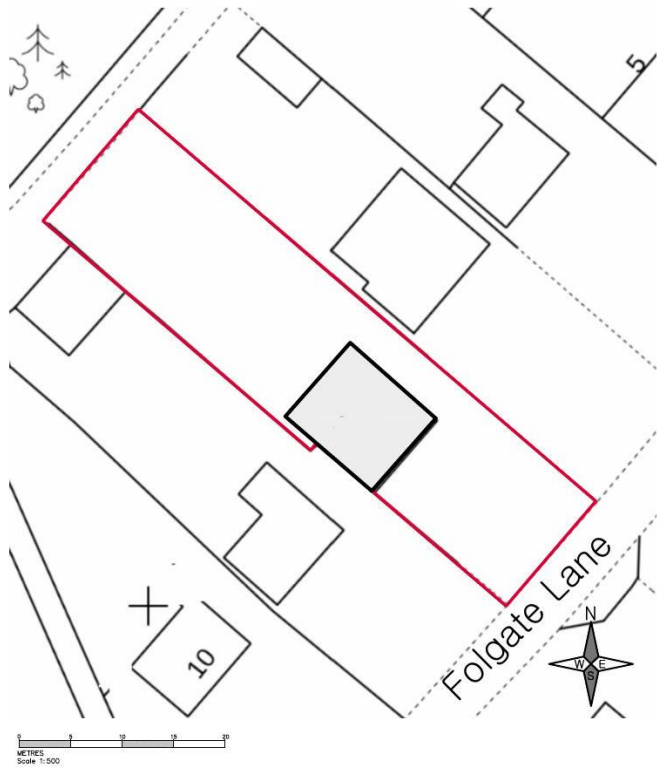
91



92



Site Location Plan



Block Plan

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Revision Details		Date
www.brightbuildingsolutions.co.uk www.brightbuildingsolutions.co.uk		
Architectural Consultancy Building Surveying Development Management		
1 0207 1128 706 1 0207 1128 706		
Client		
—		

Project
8 Folgate Lane
Walpole St Andrew
PE14 7HY

Drawing Title
Location and Block Plans

Date Sept 2025	Scale 1:500:1250@A4	Drawn by GG
Drawing No 25/1040/PL-1		Revision —

The diagram illustrates the existing floor plan of a house. The layout includes a large Living area at the front, a Kitchen/Dining area to the right, and a central Hall connecting four Bedrooms. Two Showers are located within the bedroom wings. A Rear Garden is situated at the back of the property. A red line on the left side of the plan indicates a boundary or street frontage.

Rear Garden

The floor plan shows a large rectangular area labeled 'Rear Garden' at the top. Below the garden is a house with a 'Living' area on the left and a 'Kitchen/Dining' area on the right. The kitchen/dining area includes a sink, stove, and refrigerator. The house has four bedrooms: two on the left (one above and one below the living area) and two on the right (one above and one below the kitchen/dining area). A central 'Hall' connects the bedrooms and living areas. There are two bathrooms, each containing a 'Shower' and a toilet. The plan also shows a front garden area at the bottom and a rear garden area at the top.

Proposed Floor Plan

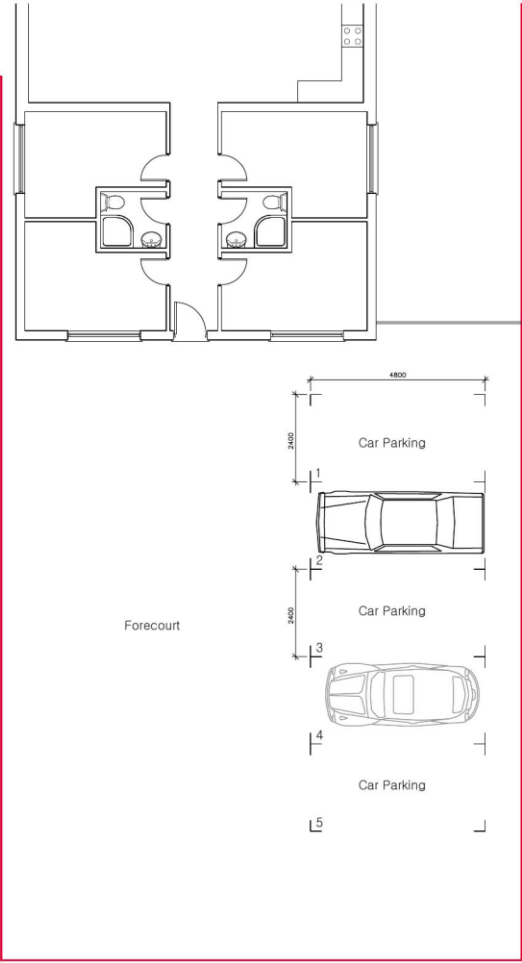
Revision Details	Date
quintec@quintecgroup.com www.quintecgroup.com or uk.quintecgroup.com	
Intellectual Contributor Building Technology Development Management	Bright Building Solutions
© 2007 3100 000 1.0007 1000 000	
Client	
Project 8 Folgate Lane Walpole St Andrew PE14 7HY	
Issuing Title Existing and Proposed Plans	
Date	Scale
Sept 2025	1:1000/A3
Drawings No	Revision
25/10/PL-2	GG

25/01660/CU

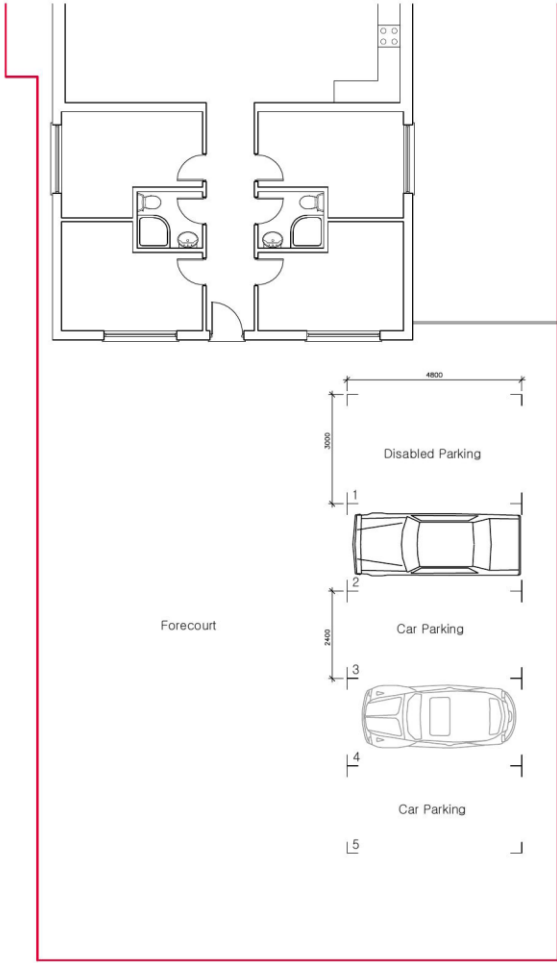
94



METRES
Scale 1:100



Existing Forecourt Parking
Arrangements Plan



Proposed Forecourt Parking
Arrangements Plan

Revision Details		100
BRIGHT BUILDING SOLUTIONS		
Project		100
8 Folgate Lane Walpole St Andrew PE14 7HY		
Existing and Proposed Parking Arrangements Plans		
Date Sept 2025	Scale 1:1000/A3	Drawn by GJ
Drawing No 25/1042/PL-3	Revision -	

25/01660/CU

95



96



View northeast on Folgate Lane

97



View of No 8 driveway (northwest)

96



View of No 8 driveway and No 9 (west)



100



Rear garden (boundary with No 9)

101



Rear garden (boundary with No 7)

102



103



Rear garden (boundary with No 7) (southeast view)



Rear garden (boundary with No 7)



105



Rear garden (boundary with No 9)

106



Rear garden (boundary with No 9)

107



Rear garden (looking east)

108



Rear garden (looking east)



109



Rear garden (looking west)

110



Rear boundary (looking east)



1
1
1



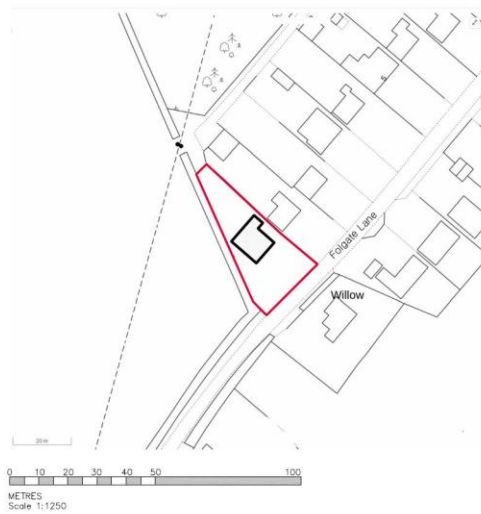
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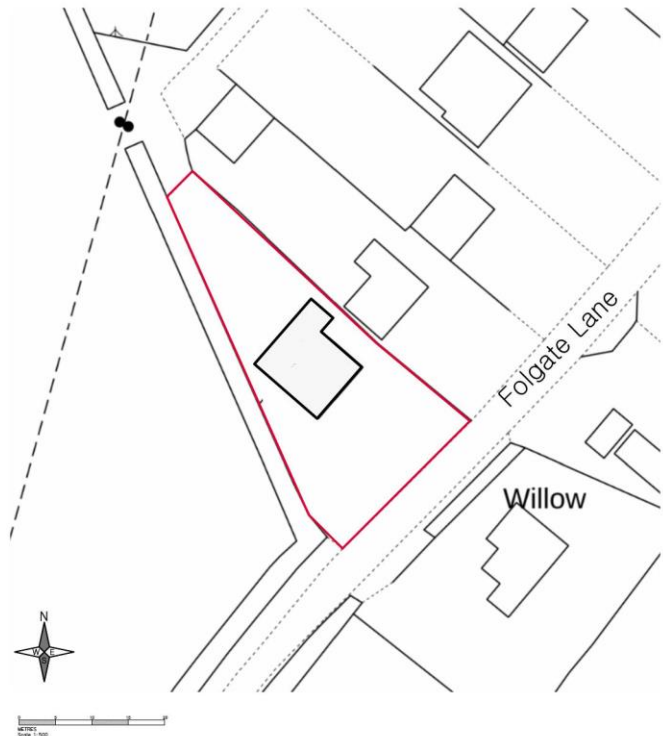
25/01661/CU

113





Site Location Plan



Block Plan

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01203 1125 966	
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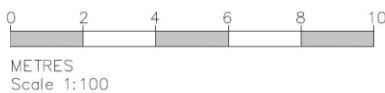
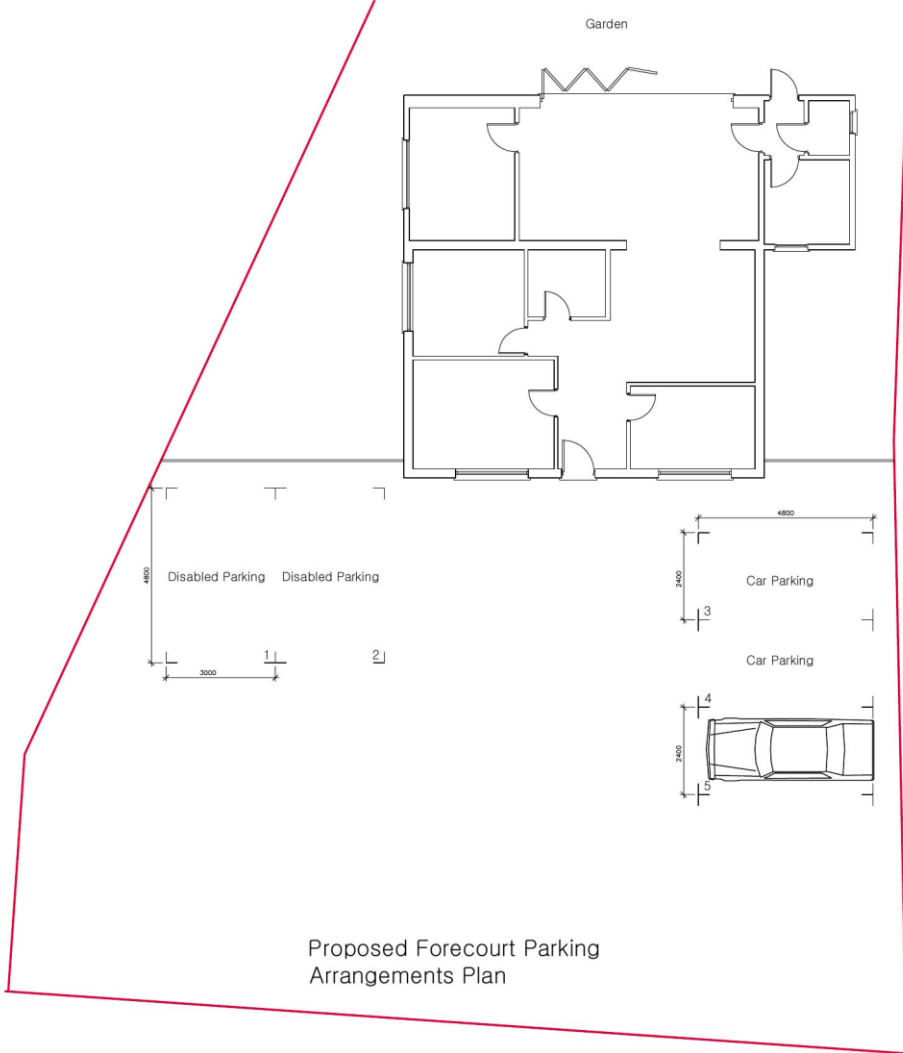
Drawn by: [Signature]

10 Folgate Lane
Walpole St Andrew,
PE14 7HY

Issued by: [Signature]

Location Plans

Date	Scale	Drawn by
Sept 2025	1:500(1:250)@A3	GG
Drawing No	Revision	
25/1041/PL-1	-	



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Revision Details		Date
1. Initial design and consultation with client		10/09/2025
2. Final design and consultation with client		10/09/2025
3. Final design and consultation with client		10/09/2025
4. Final design and consultation with client		10/09/2025
5. Final design and consultation with client		10/09/2025
6. Final design and consultation with client		10/09/2025
7. Final design and consultation with client		10/09/2025
8. Final design and consultation with client		10/09/2025
9. Final design and consultation with client		10/09/2025
10. Final design and consultation with client		10/09/2025

Authorised: Consultancy
Building Planning
Development Management

Bright Building Solutions

1. 2025-11-28 10:00
2. 2025-11-28 10:00

Client

Project
10 Folgate Lane
Walpole St Andrew,
PE14 7HY

Drawing Title
Existing Parking Arrangement Plan

Date Sept 2025	Scale 1:1000/A3	Drawn by GS
Drawing No 25/1041/PL-4	Revision -	

116



117



118





120



121



122



Rear garden (looking southwest)



123



Rear garden (looking northwest)



124



125



126



127



128



129



130



View of No 10 from No 9's garden

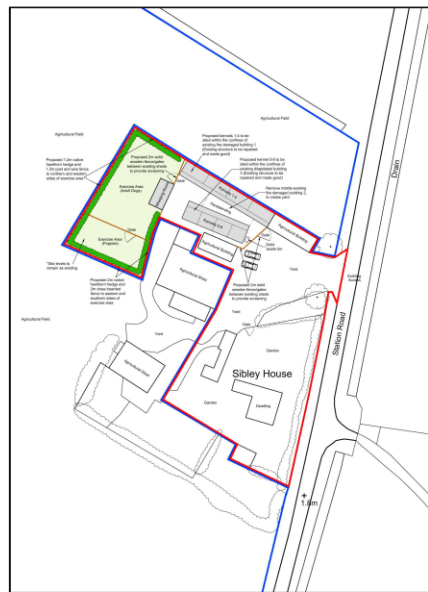
25/00275/F

131

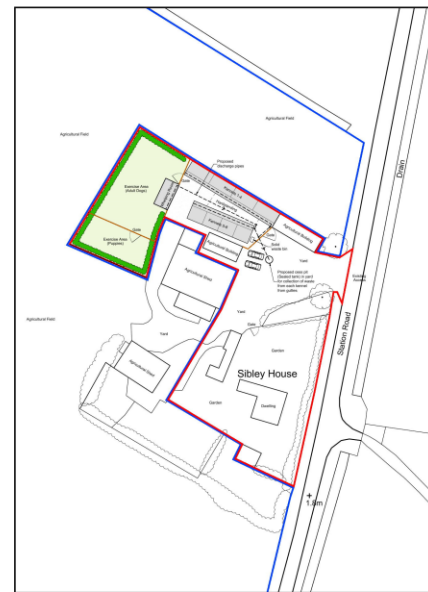




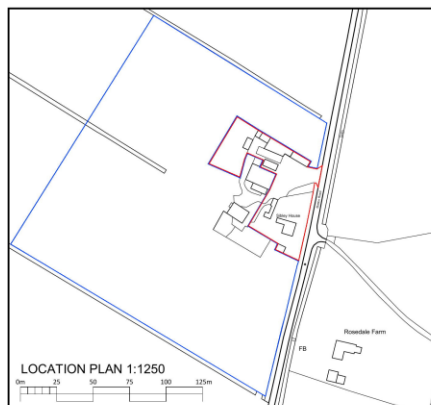
EXISTING SITE PLAN 1:500



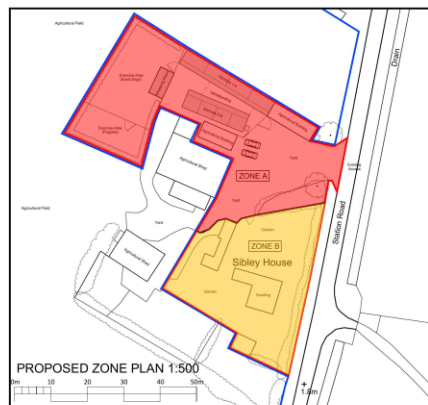
PROPOSED SITE PLAN 1:500



PROPOSED DRAINAGE PLAN 1:500



LOCATION PLAN 1:1250



PROPOSED ZONE PLAN 1:500



REVISIONS

RHA

PETER HUMPHREY ASSOCIATES

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CLIENT

MICHELLE WADE

PROPOSED KENNELS

SITE

LAND NORTH OF SIBLEY HOUSE

STATION ROAD

EMMETH

NORFOLK

PE14 8DL

LOCATION PLAN & PROPOSED SITE PLAN

DATE

6/03/2018

SCALE

A1

DATE

FEB 2025

Notes

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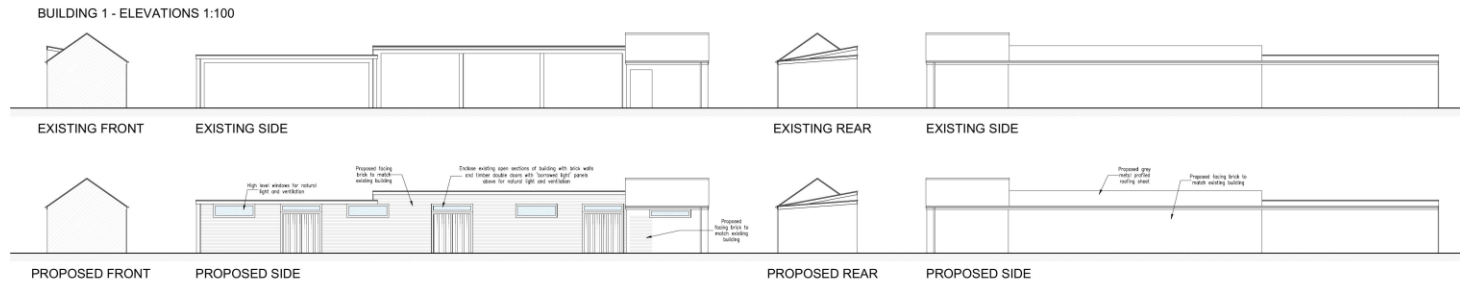
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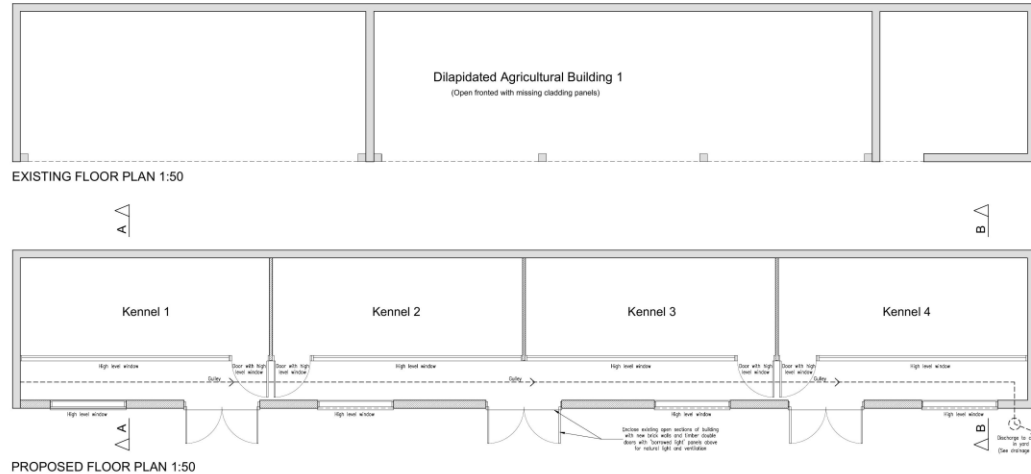
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BUILDING 1 - FLOOR PLANS 1:50



BUILDING 1 EXISTING/PROPOSED ROOF PLAN 1:100



PROPOSED

PHA
PETER HUMPHREY
ASSOCIATES

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CLIENT:
MICHELLE WADE

PROJECT:
PROPOSED KENNELS

DATE:
LAND NORTH OF SIBLEY HOUSE
STATION ROAD
EMNETH
NORFOLK
PE14 5DL

PROPOSED

EXISTING/PROPOSED BUILDING 1

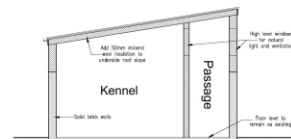
DATE:	PROJECT:	DATE:
6/6/2025	A1	FEB 2025

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EXISTING ROOF PLAN 1:100

PROPOSED ROOF PLAN 1:100

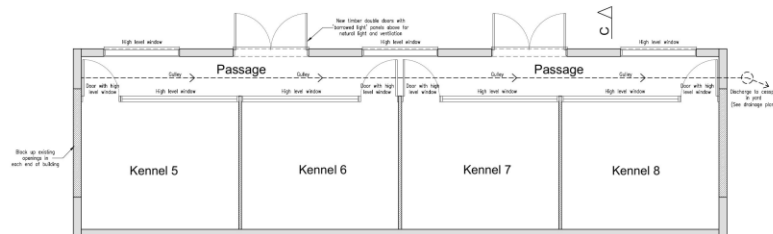


PROPOSED SECTION C-C 1:50

BUILDING 3 - FLOOR PLANS 1:50



EXISTING FLOOR PLAN 1:50



PROPOSED FLOOR PLAN 1:50

PROPOSER:



**PETER HUMPHREY
ASSOCIATES**

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 FAX: 704/762-0101
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 WEB: www.peterhumphrey.com

CLIENT:

MICHELLE WADE

PROJECT:

PROPOSED KENNELS

AREA:

LAND NORTH OF SIBLEY HOUSE
 STATION ROAD
 EMMERTH
 NORFOLK
 PE14 8DL

(PROPOSED)

EXISTING/PROPOSED BUILDING 3

620/SK30KD	A1	FEB 2025
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Notes:

1. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

2. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

3. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

4. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

5. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

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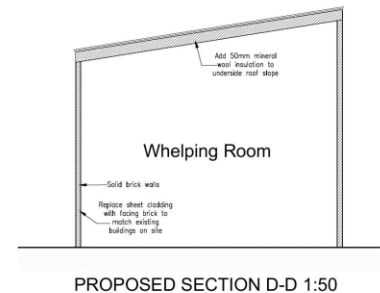
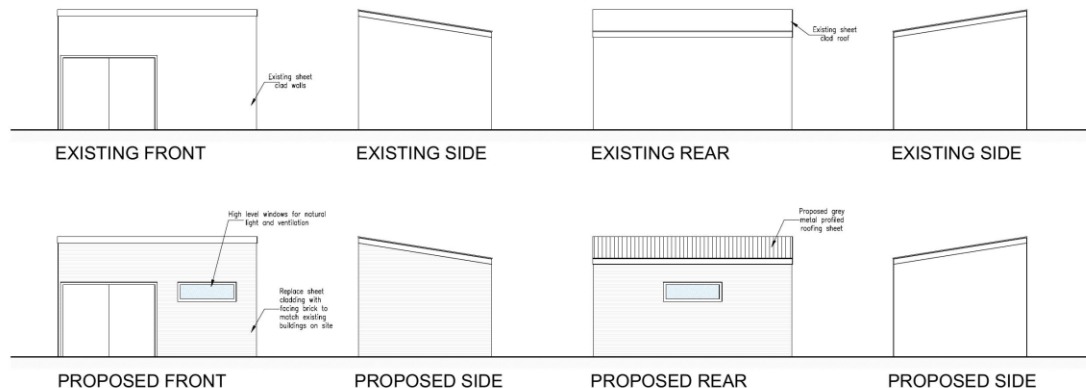
7. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

8. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

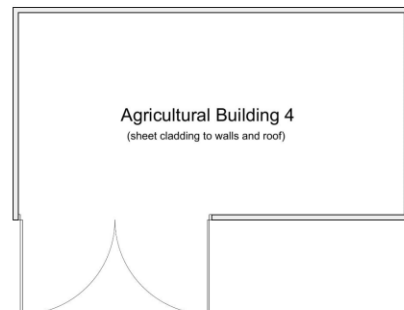
9. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

10. The proposed development is shown on the attached site plan and is subject to the planning authority's decision. It is the proposer's responsibility to ensure that the proposed development is in accordance with the relevant planning legislation and to obtain the necessary planning permission.

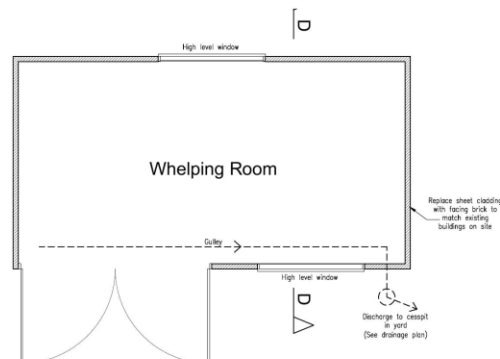
BUILDING 4 - ELEVATIONS 1:100



BUILDING 4 - FLOOR PLANS 1:50



EXISTING FLOOR PLAN 1:50



PROPOSED FLOOR PLAN 1:50



EXISTING/PROPOSED ROOF PLAN 1:100

REVISIONS



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CLIENT

MICHELLE WADE

PROJECT

PROPOSED KENNELS

SITE

LAND NORTH OF SIBLEY HOUSE
STATION ROAD
EMNETH
NORFOLK
PE14 8DL

DRAWING

EXISTING/PROPOSED BUILDING 4

JOB NO.	PAPER SIZE	DATE
6903/SK04A	A2	FEB 2025

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Northern side of site access with parking

137





138



Farmyard context – barns to the south of proposed kennels



Building 3 with Building 1 and 2 to right (fire damaged)



Fire damaged Buildings 1 and 2 (Building 2 to be removed)

141



Buildings 1 and 2 (fire damaged)



142



Fire damaged Building 2 to be removed



143



Building 2 for removal





Whelping Room



Unauthorised kennels on proposed exercise field



Unauthorised kennels



25/00275/F

147



View from kennels

148



View from kennels

149



Whelping room and
unauthorised caravan



150



Unauthorised residential caravan

2/TPO/00709



Location of Woodland TPO



2/TPO/00709

Location of Woodland TPO



153

View from north along Spring Lane

154



155



View looking into the wood from Spring Lane -
further south





Poor pruning to cherry tree and some clearance



158



Felled established oak tree



Pruning and young tree felling

159





Poor pruning to mature Oak tree



2/TPO/00709

161



Young tree felling/poor pruning



2/TPO/00709

162



Felled young trees lying on ground



Speaker Slide - Andy Panteli



164



165



166



SITE AS IT LOOKED IN 2006



Slide
No. 166

167



2/TPO/00709

168



End of Presentation

