



Planning Committee

**Monday, 2nd February, 2026 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ**

Reports marked to follow on the Agenda and/or Supplementary Documents

1. **Decision on applications** (Pages 2 - 169)

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

2 February 2026

2



25/01552/FM







Key Description
 1. Planning Board
 2. Site boundary
 3. Plan updated

DATE: 08/07/2025

AUTHOR: C.W.

CHECKED BY: C.W.

NOTES:

100m
1:1000 (46 Acre)

DATE: 08/07/2025

SCALE: 1:1000

1:1000

AUTHOR:
C.W.

CHECKED BY:

PROJECT:
Proposed Change of Use from Agricultural to Secure
Area for Dog Walking
CLIENT:
Tiggy's Puddocks
DATE:
FOR PLANNING
DRAWING:
PROPOSED BLOCK PLAN

PROJECT NO. 642

DRAWING NO. 101

REV. C





∞



View north at Ryston Road



6



View east at Ryston Road at access to the site



10



View southwest at Ryston Road



11



Access into the site and No 34 Ryston Road



12



Access into the site



13



View along the west boundary of the application site



14



View looking west from application site

51



View looking northwest from application site

19



View looking north from application site

11



View looking northeast from application site

18



View looking east from application site



61



View looking southeast from application site



20



View looking south from application site

21



View looking southwest from application site

22



Closer view of Hill House (north of application site)

23



Closer view of No 34 Ryston Road (west of application site)



25/01391/FM

24

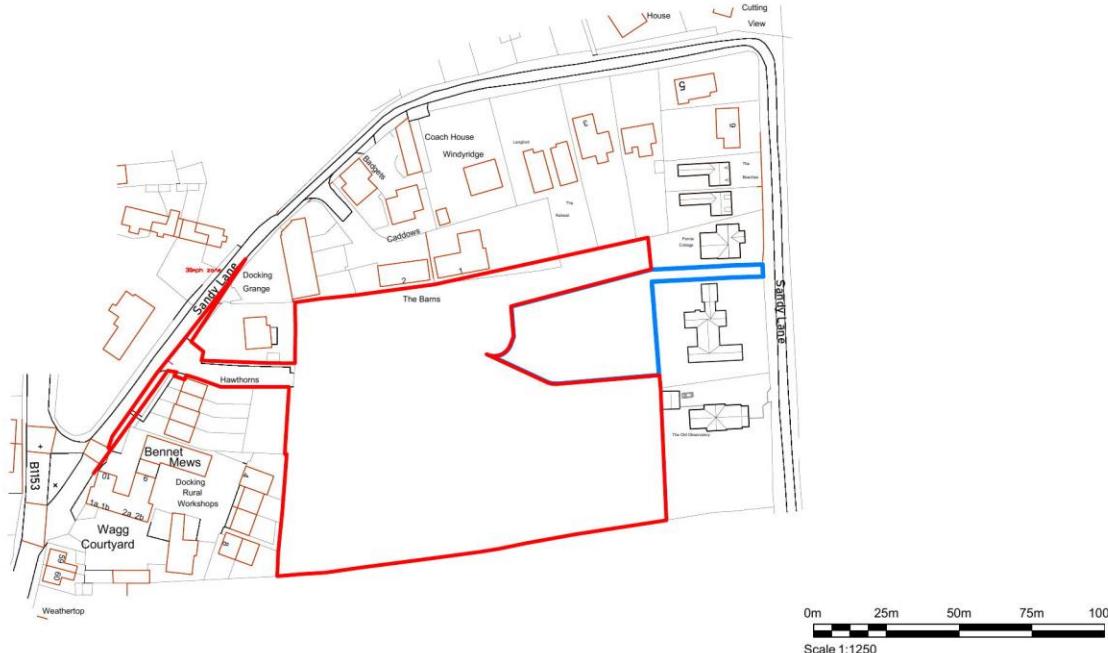


This drawing is to be read in conjunction with all other relevant drawings and specifications.

C W Johnson Limited are not appointed in the role of Principle Designer under the Construction (Design & Management) Regulations 2007 unless written confirmation has been provided as part of the fee agreement. The Employer should be aware that the Construction (Design & Management) Regulations may apply to the project and they should seek further professional advice. Guidance and information is also available from the Health and Safety Executive.



25



C W Johnson Limited shall have no liability to the Employer arising out of any unauthorized modification or amendment to, or any transmission, copy or use of the material, or any proprietary work contained therein, by the Employer, other project team member, or any other third party.

This drawing has been prepared for the stated 'Purpose of issue' and should not be used for any other purpose; and does not constitute or form part of any contract unless specifically annexed thereto in writing by C W Johnson Limited.

All dimensions are to be checked and verified on site prior to commencement and order of materials, and any discrepancies are to be reported to C W Johnson Limited. The scale provided is for guidance only and should not be relied upon for accurate measurements.

Do not scale © C W Johnson Limited

Project:
Residential development
Land at Sandy Lane
Docking

Project No: 2020658
Scale @ A3: 1/1250
Drawn By: CWJ
Title: Location Plan

Client:
Vello Limited

Drawing Number: 2020658 - 09
Purpose of Issue: Planning Application
Revision: B

C W JOHNSON
CHARTERED SURVEYORS

Building Surveying Architectural Design Building Consultancy

www.cwjsurveyors.co.uk | cwjsurveyors.outlook.com

Regulated by RICS

This drawing is to be read in conjunction with all other relevant drawings and specifications.

C W Johnson Limited are not appointed in the role of Principle Designer under the Construction (Design & Management) Regulations 2007 unless written permission has been provided as part of the fee agreement. The Employer should be aware that the Construction (Design & Management) Regulations may apply to the project and they should seek further professional advice. Guidance and information is also available from the Health and Safety Executive.



26



C W Johnson Limited shall have no liability to the Employer arising out of any unauthorized modification or amendment to, or any transmission, copy or use of the material, or any proprietary work contained therein, by the Employer, other project team member, or any other third party.

This drawing has been prepared for the stated 'purpose of issue' and should not be used for any other purpose; and does not constitute or form part of any contract unless specifically annexed thereto in writing by C W Johnson Limited.

All dimensions are to be checked and verified on site prior to commencement and order of materials, and any discrepancies are to be reported to C W Johnson Limited. The scale provided is for guidance only and should not be relied upon for accurate measurements.

E	Plot Unlocked and bin collection shown	03/05/25	CWI
E	Plot 1 size increased	07/11/23	CWI
E	Plot 2 size increased	11/05/25	CWI
C	Garden Extensions altered	07/05/25	CWI
C	Red line added	07/05/25	CWI
B	Road access and drain added	06/05/25	CWI
A	Layout alterations	03/05/25	CWI
Rev Description	Date	Checked	

This drawing is the copyright of C W Johnson Limited and can only be reproduced with their written permission. All intellectual property rights are vested with C W Johnson Limited and cannot be used or reproduced without their written permission.
Do not scale © C W Johnson Limited

Project:
Residential development
Land at Sandy Lane
Docking

Project No.: 2020658
Scale @ A3: 1/1000
Drawn By: CWJ
Title: Initial Site Layout Concept

Client:
Vello Limited

Drawing Number: 2020658 - 02
Purpose of Issue: Information
Revision: G

C W JOHNSON
CHARTERED SURVEYORS

Building Surveying Architectural Design Building Consultancy
www.cwjsurveyors.co.uk cwjsurveyors.outlook.com
Regulated by RICS

This drawing is to be read in conjunction with all other relevant drawings and specifications.

C W Johnson Limited are not appointed in the role of Principle Designer under the Construction (Design & Management) Regulations 2007 unless written permission has been provided as part of the fee agreement. The Employer should be aware that the Construction (Design & Management) Regulations may apply to the project and they should seek further professional advice. Guidance and information is also available from the Health and Safety Executive.



27



The floor plan illustrates a house layout with the following rooms and features:

- LIVING ROOM**: Located on the left side of the plan.
- KITCHEN**: Located at the top right, featuring a **SINK** and a **STOVE**.
- BEDROOM THREE**: A large room located on the right side.
- BEDROOM TWO**: A room located at the bottom right.
- MASTER BEDROOM**: A room located at the bottom left.
- ENSUITE**: A bathroom attached to the Master Bedroom.
- BATH**: A bathroom located on the left side.
- CUPD**: A cupboard located near the Kitchen.
- HALL**: A central hallway connecting the rooms.

3 bed bungalow 86 sqm

Ergonomics in Design

Roof	Clay Pantiles
Rainwater goods	Black upvc.
Fascia	black upvc
Brickwork	Norfolk soft red multi.
Windows	Painted timber.
Doors	Composite

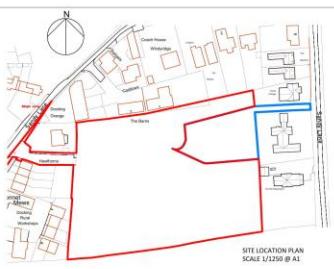
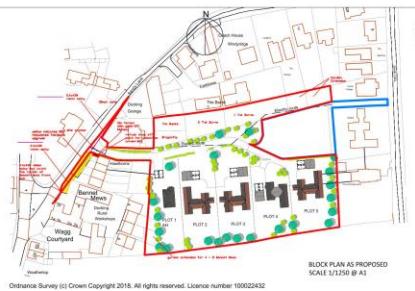
An architectural line drawing of a two-story house. The main structure is a gabled roof with a central entrance featuring a small overhang. To the right, there is a single-story side extension with a gabled roof and a window. The drawing uses fine lines to represent the siding and the outline of the house.

NORTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1

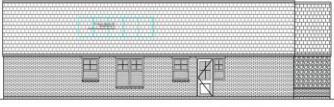
SOUTH ELEVATION AS PROPOSED
SCALE 1/100 @ A1

An architectural line drawing of a two-story house. The house features a gabled roof with horizontal siding. A central entrance is marked by a porch with a triangular pediment. A small chimney is located on the right side of the house. The drawing is done in a technical style with fine lines and cross-hatching.

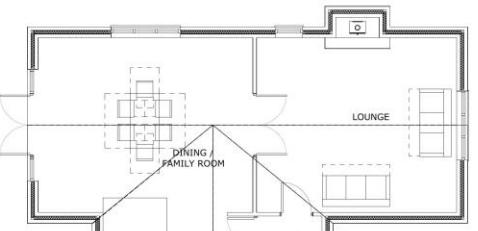
WEST ELEVATION AS PRO



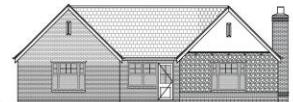
Ordnance Survey (c) Crown Copyright 2018. All rights reserved. Licence number 100022432



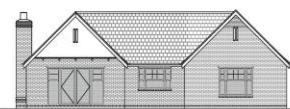
EAST ELEVATION AS PROPOSED
SCALE 1/100 @ A1



3 bed
bungalow
155 sqM
GIA



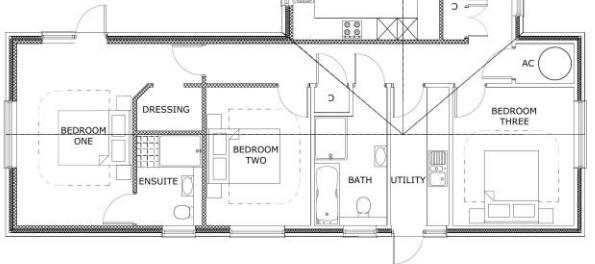
NORTH ELEVATION AS PROPOSED
SCALE 1/100 (D A1)



SOUTH ELEVATION AS PROPOSED
SCALE 1/100 (P A1)



WEST ELEVATION AS PROJ.



FLOORPLAN AS PROPOSED
SCALE 1:100 @ A1

Proposed Materials

Roof	Clay Pantiles
Rainwater goods	Black upvc.
Fascia	Black upvc
Brickwork	Norfolk soft red multi.
Flint	To match surrounding dwelling
Render	Through coat white
timber weatherboards	Stained charcoal grey.
Windows	Painted timber.
Doors -	Composite

A. Who prepared and/or reviewed this document?	10/12/20
Prepared by:	Initials _____
Project Name:	Initials _____
Project Number:	Initials _____
Scale (if all):	Initials _____
Reviewed by:	Initials _____
Comments:	Initials _____
C W JOHNSON CHARTERS & SURVEYORS	
Building Engineering Architectural Design Building Construction	
www.cwjohson.com info@cj.com	
Regulated by NCS	
Project:	
Residential Development	
Land at Sandy Lane	
Docking	
Drawn by:	
Vello Limited	
Title:	
Plot 4 As Proposed	
Drawing Number:	
202002-08	
Drawing Date:	
Plotted on:	
Scale:	
A	

31

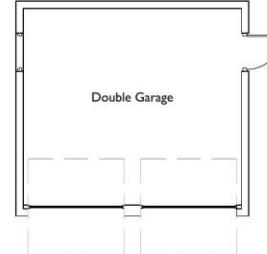


A. Site and Building updated	B. Site & Building Not updated
Measured	Estimated
22/01/2020	22/01/2020
Project No:	Scale of A/C:
As indicated	
CWS	
C W JOHNSON CHARTERED SURVEYORS	
Building Surveying - Architectural Design - Building Consultancy	
www.cwsurveyors.co.uk cwsurveyors@outlook.com	
Approved by WCL	
Project Residential Development Land at Sandy Lane Docking	
Client: Vells Limited	
Title: Block Plan As Existing	
Drawing Number: 25/01391/30	
Planning	Revision: A

This drawing is to be read in conjunction with all other relevant drawings and specifications.

C W Johnson Limited are not appointed in the role of Principle Designer under the Construction (Design & Management) Regulations 2007 unless written information has been provided as part of the fee agreement. The Employer should be aware that the Construction (Design & Management) Regulations may apply to this project and they should seek further professional advice. Guidance and information is also available from the Health and Safety Executive.

Garages
33 sqM
GIA

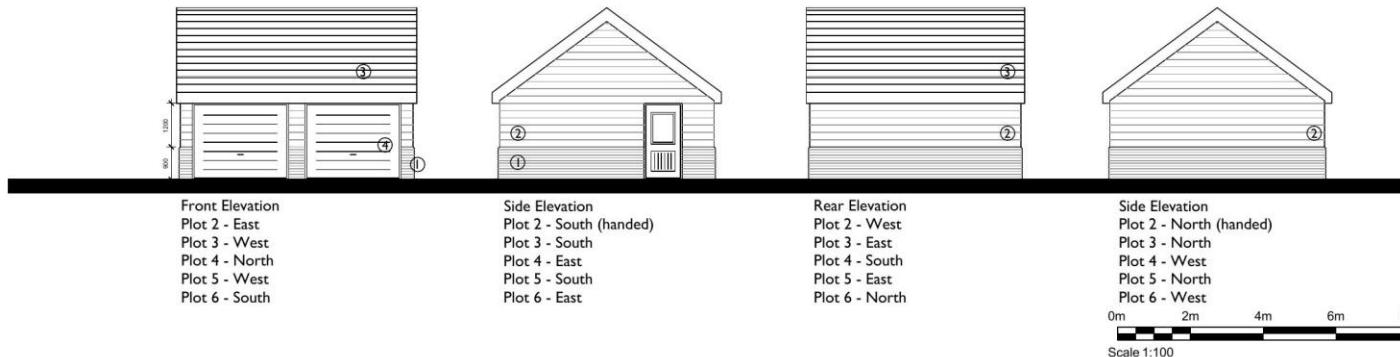


Proposed Materials

Roof	Clay Pantiles
Rainwater goods	Black upvc.
Fascia	Black upvc
Brickwork	Norfolk soft red multi.
timber weatherboards	Stained charcoal grey.
Doors	Composite.

Floor Plan

33



C W Johnson Limited shall have no liability to the Employer arising out of any unauthorized modification or amendment to, or any transmission, copy or use of the material, or any proprietary work contained therein, by the Employer, other project team member, or any other third party.

This drawing has been prepared for the stated 'Purpose of issue' and should not be used for any other purpose; and does not constitute or form part of any contract unless specifically annexed thereto in writing by C W Johnson Limited.

All dimensions are to be checked and verified on site prior to commencement and order of materials, and any discrepancies are to be reported to C W Johnson Limited. The scale provided is for guidance only and should not be relied upon for accurate measurements.

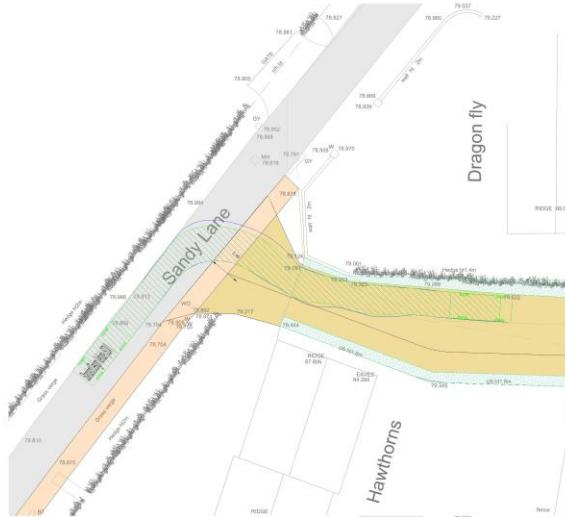
Do not scale © C W Johnson Limited

Project:
Residential development
Land at Sandy Lane
Docking

Project No:
2020658
Title:
Garages
Client:
Vello Limited

Scale @ A3:
As shown
Drawn By:
CWJ
Drawing Number:
2020658 - 12
Purpose of Issue:
Planning
Revision:
-

Building Surveying Architectural Design Building Consultancy
www.cwjsurveyors.co.uk | cwjsurveyors.outlook.com
Regulated by RICS



PRELIMINARY DRAWING



10	10.21.25	Administrative Network Location Substance Based	100
20	27.80.20	Performance	40
30	30.00	Descriptive	50

Copyright. The copyright of this drawing is reserved to Scheme design.
It is not to be used in conjunction with all other present, related drawings,
and surely not to be sold.
It is not to be used without permission by anyone for any purpose.
Do not make this drawing electronically or manually,
unless you have permission to do so.

KE DILAMPUKAN SARI DI CINTAHLA, LAGUH ECHOH SONGAH.
GUNUNG HUM PIH LIUEN PIH, KAWI BEEK KURNI EHH.
GUNUNG HUM PIH LIUEN PIH, KAWI BEEK KURNI EHH.

Client:
Vale Ltd

Project East of Sandy Lane,

Looking forward
PERIOD

Vehicle Tracking
Sheet 1
Standard Design Vehicle (Cor)

Scans 8 AD 1993

[SCH]

SOHT
EMA | sustainable
design+
planning

Case Originated Job Number By Date

July 2025 0624 KLC

Brewing No. C102 Current Run P2

36



37



View north along Sandy Lane access to right/centre



38



39





4



42





25/01684/F

▼





Location Plan 1:1250

0 10 50m



© Crown copyright and database rights 2025 OS 100035409
Please note this drawing was produced in colour.



ACS ARCHITECTURAL

A. UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Snettisham
PE31 7FR

T. 01485 532112
E. info@acs-architectural.co.uk

Address

Little Congham House
Grimston Road
Congham
PE32 1DR

what3words
lousy.freedom.rested

Title

Location Plan

Date

(First Issued) 31.10.24 (Last Revision) 00.00.00

Paper

A4

Drawing No.

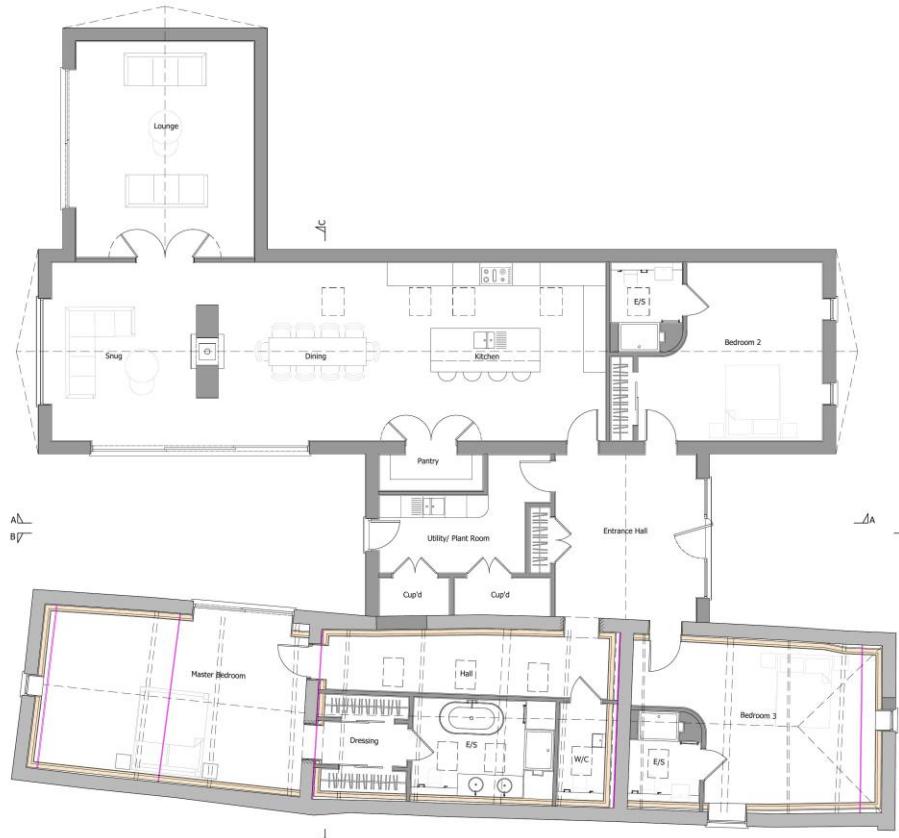
923/24/00

Rev.

0



47



Ground Floor Plan 1:50
0 1 2.5m



ACS ARCHITECTURAL

A. UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Snettisham PE31 7RQ
T. 01483 522122
E. info@acs-architectural.co.uk

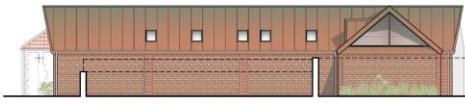
Project
Proposed Conversion & Extensions
Little Cragham House
Grinston Road
Cragham PE32 1DR
■ what:wards
loss freedom/restrict
Title
Proposed Floor Plan

Date
(date issued) (last revised)
31.07.25 00.00.00
Paper
A1

Drawing No.
923/24/12 Rev. 0



East Elevation 1:100
0 1 5m



North Elevation



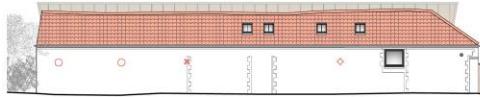
South Elevation & Section



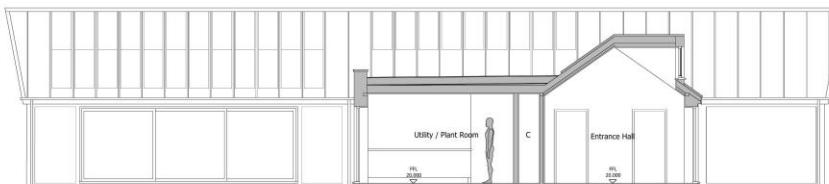
West Elevation



North Elevation & Section



South Elevation



Section A-A 1:50
0 1 2.5m

Proposed Materials

- Facing brickwork
- Carrstone infill panels
- Vertical natural timber cladding
- Natural clay pantiles
- Natural clay peg/pin tiles
- Red zinc/metal standing seam roof
- Grey flat roof system
- Black/dark grey aluminium windows
- Black/dark grey aluminium doors

84

NOTE

Engineer to advise upon removal/repositioning of historic steel tie-rod and anchor plates

Engineer to advise upon structural integrity of existing walls and suitability of existing foundations for convertibility.



ACS ARCHITECTURAL

A UNIT 7, Poppyfields Retail Park
Poppyfields Drive
Peterborough
PE3 7RE
T 01483 521212
E info@acs-architectural.co.uk

Project

Proposed Conversion & Extensions
Little Cogshan House
Grimston Road
Cogenhoe
PE11 1DR
 what:wards
 lease:freedom:rested

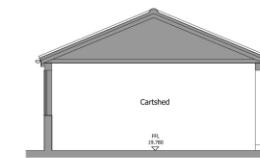
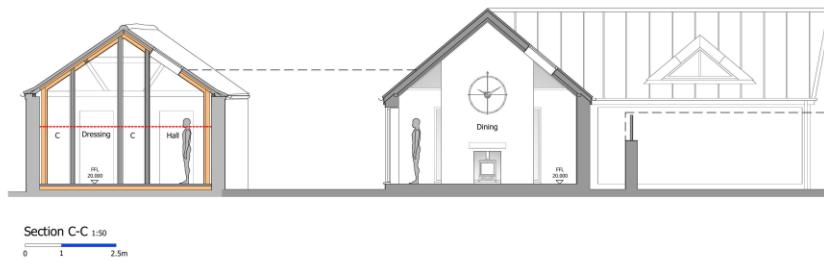
Title

Proposed Elevations & Section

Date 31.07.25 Paper A1
(First issued) (Last revised) Rev.

Drawing No. 923/24/13 Rev. 0

49

**Proposed Materials**

- Facing brickwork
- Carrstone infill panels
- Vertical natural timber cladding
- Natural clay pantiles
- Natural clay peg/pin tiles
- Red zinc/metal standing seam roof
- Grey flat roof system
- Black/dark grey aluminium windows
- Black/dark grey aluminium doors



ACS ARCHITECTURAL
UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Snettisham PE31 7RQ
T: 01485 522112
E: info@acs-architectural.co.uk

Project: Proposed Conversion & Extensions
Little Cogham House
Grimston Road
Cromer
NR9 1DR
what words
louise/freedom/relaxed

Title: Proposed Sections, Cartshed Plan, Elevations and Section
Date: (First issued) 31.07.25 (Last Revision) 13.11.25
Drawing No. 923/24/14 A
Paper A1
Rev. 0

50



Looking east to the junction between the B1153 and St Andrews Lane

51



Looking south from the application site



52



Looking west from the application site



53



Looking towards the site from St Andrews Lane

G



Existing access



55



Looking north to the existing outbuilding



9G



Looking west to the existing outbuilding



57



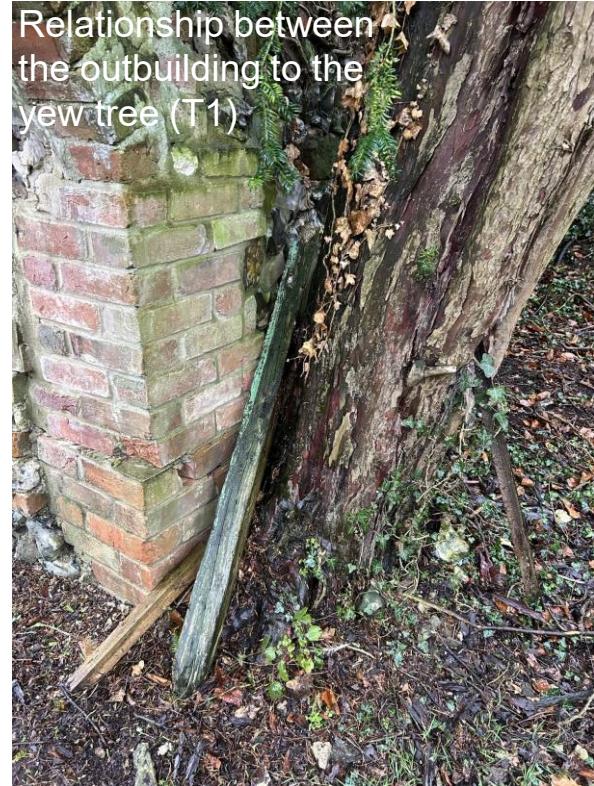
Looking southwest to the existing outbuilding





Looking southeast to the existing outbuilding and the yew tree (T1)

Relationship between the outbuilding to the yew tree (T1)





On site looking to the cherry plum tree
(G1/T2)



Looking towards the cherry plum tree
(G1/T2) from St Andrews Lane



09



On site looking south (proposed access)



61



62



On site looking northeast



63



On site looking towards Owl Barn and St Valentines Barn
(northeast)



64



On site looking west



59



On site looking towards Little Congham House (north)



99



On site looking west

69



On site looking north (towards the amenity space of Little Congham House)



89



On site looking northeast



69



On site looking towards Little Congham House (north)



Speaker Slide - Nick Borrmann



Proposal Attributes

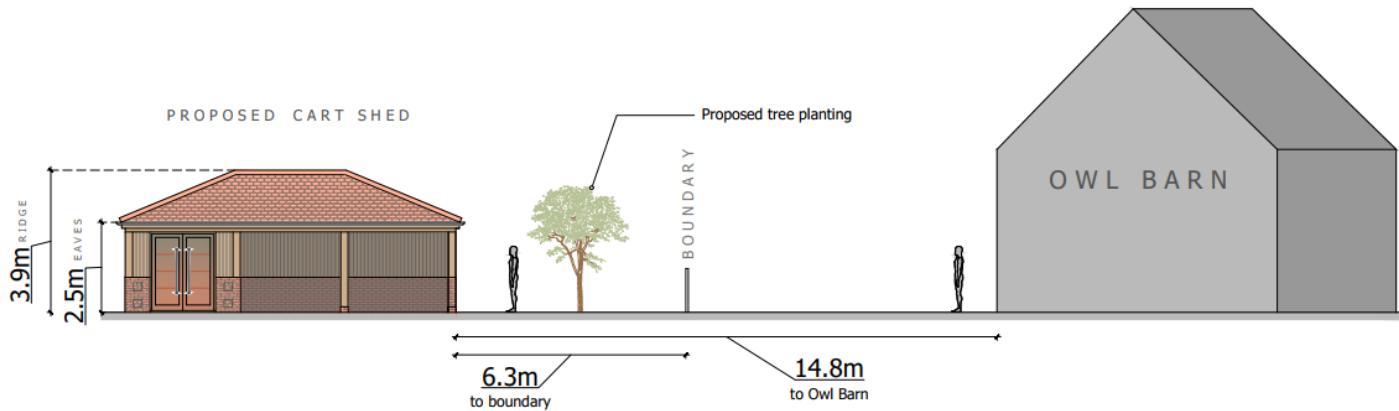
- Re-use & Preserve A Non-Designated Heritage Asset in a prominent location.
- Within Development Boundary - the provision of a new dwelling via-conversion and extension is sustainable.
- Single Storey Extensions - minimal impact.
- Extensions "contained within site" having minimal impact on established street scene.
- Contemporary, simplistic form with materials and colour of local vernacular.
- Sub-division ensures ample amenity and facilities are retained for donor dwelling and the conversion.
- Built form (including existing outbuilding) accommodates only **23.7%** of the plot area.



- Proposals accord with Dark Skies policies by limited glazing at high-level and utilising overhangs and louvres.
- Distances and scale ensure no detrimental impact on neighbouring amenity.

72



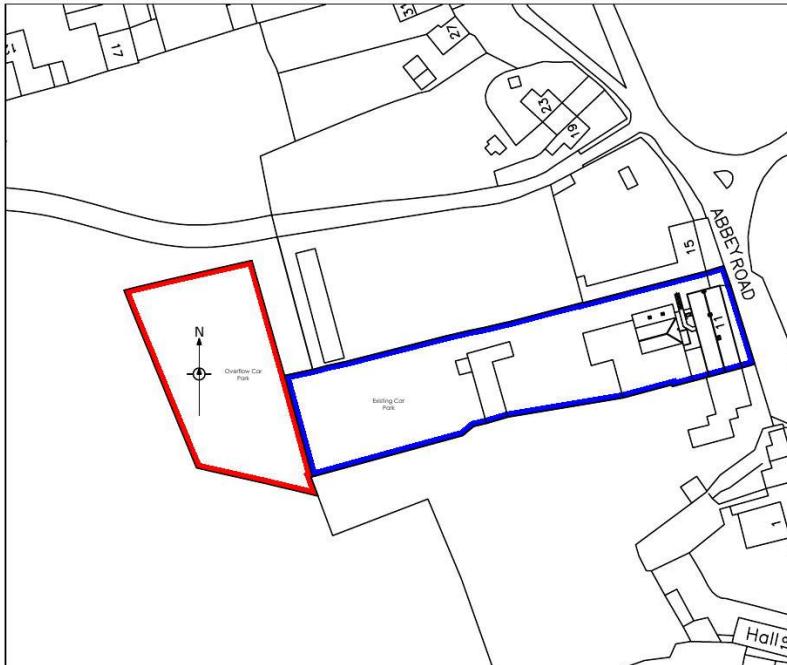


25/01974/F

74



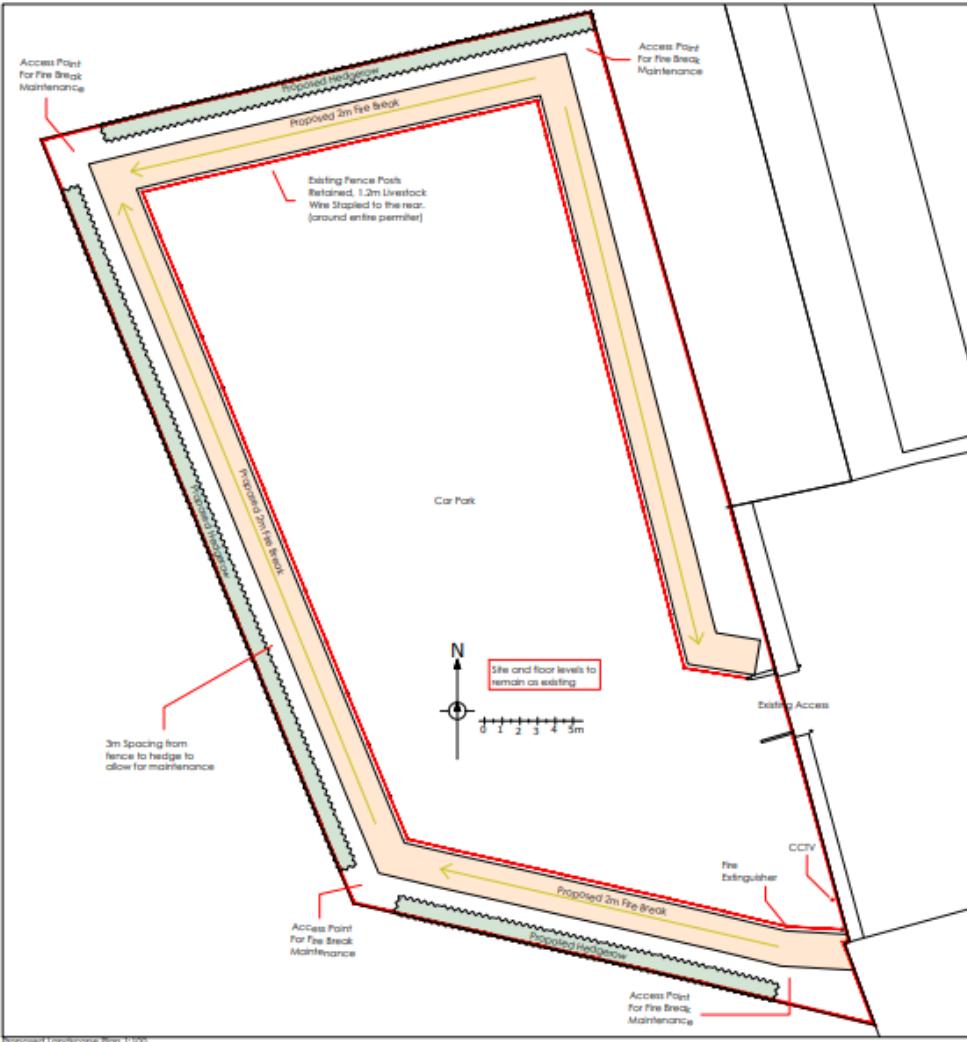
G7



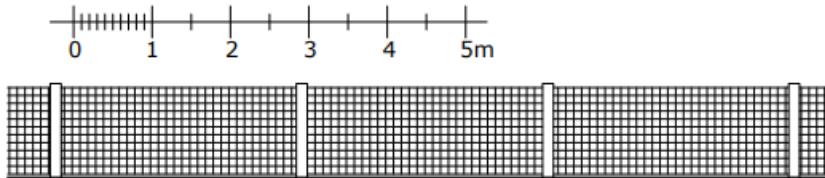
Location Plan 1:1250

Date:	Revision:	Description:
 Vertex Architecture Planning / Architectural Design / Consultancy		
info@vertexarchitecture.co.uk 2 - 3 Northgate Precinct, Hunstanton, Norfolk PE36 6EA 10 Queen Street, Norwich, Norfolk NR2 4SQ		
Project: The Dabbling Duck, 11 Abbey Road, Great Massingham, Norfolk, PE32 2HN		
Subject: Car Park Existing Location Plan		
Date: December 2025	Scale: 1:1250 @A4	
Project No.: 22183	Drawing No.: 02	Revision: A

76



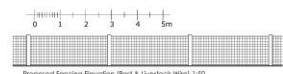
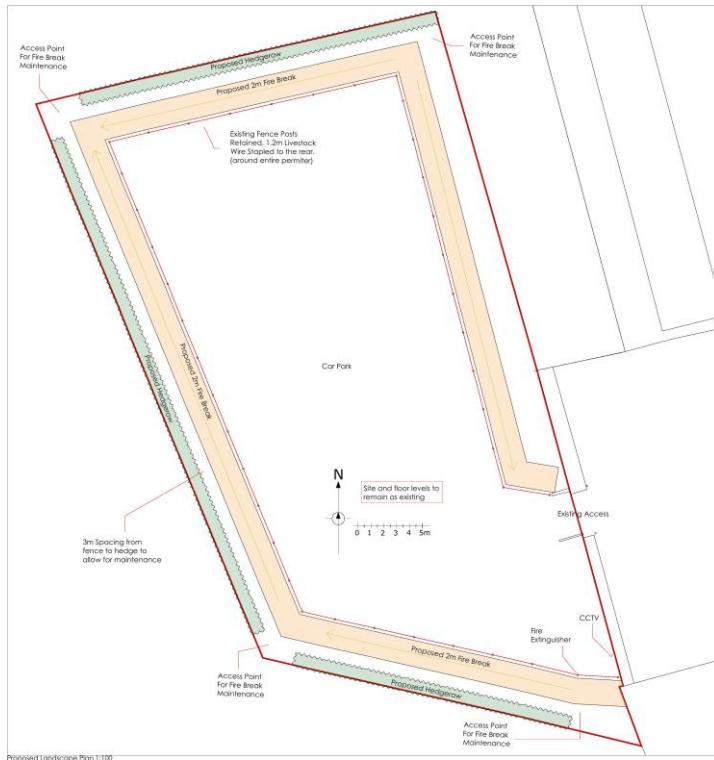
77



Proposed Fencing Elevation (Post & Livestock Wire) 1:50

Date:	Revision:	Description:
 Vertex Architecture		
Planning / Architectural Design / Consultancy		
01485 532206	01603 970466	VERTEXARCHITECTURE.CO.UK
info@vertexarchitecture.co.uk 2-3 Northgate Precinct, Hunstanton, Norfolk PE38 6EA 10 Queen Street, Norwich, Norfolk NR2 4SQ		
Project: The Dabbling Duck, 11 Abbey Road, Great Massingham, Norfolk, PE32 2HN		
Subject: Car Park Proposed Landscape Plan		
Date:	Scale:	
November 2025	1:50, 1:100 @ A1	
Project No.:	Drawing No.:	Revision:
22183	04	

7



Proposed Hedge Row:
 • Hawthorn - Circa 50%
 • Hazel - Circa 25%
 • Maple - Circa 25%



79



View from access across the site

25/01974/F

80



View from access towards south west corner



25/01974/F

81



View from access towards south boundary



82



View from access towards south boundary, showing existing boundary treatment



25/01974/F

83



View from access along east boundary :

48



Relationship of east boundary with rear of surrounding properties



25/01974/F

58



Existing car park



Speaker Slide – Linda Swallow

98



18



**Field before use as overflow car park, AI generated from
photo 2**



88



68



25/01974/F

06

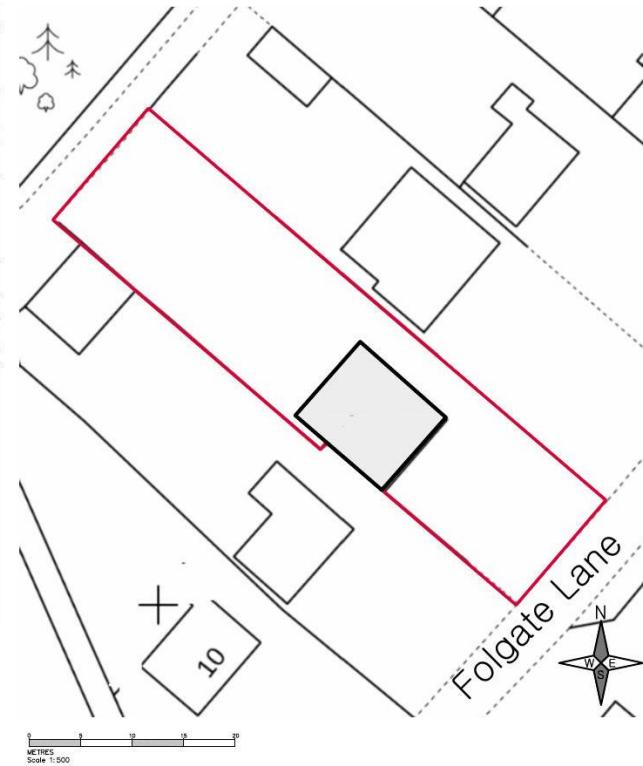
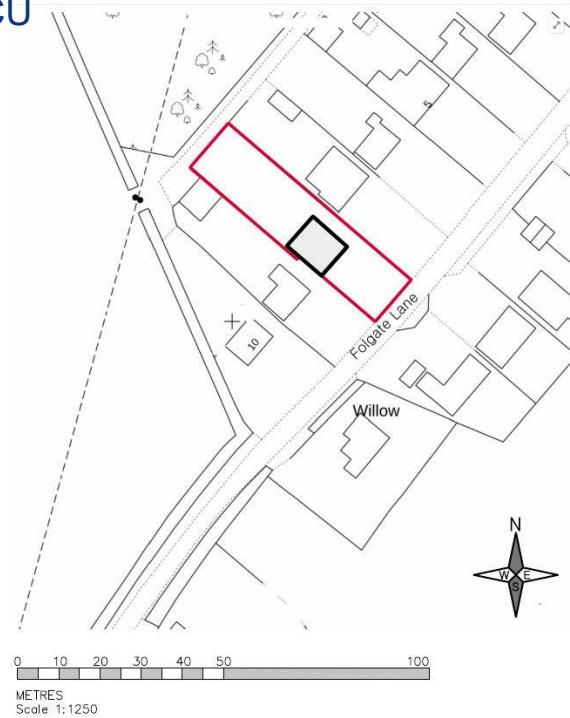


25/01660/CU

91



92



Issued: For Planning Consent Use Only.

Bright Building Solutions can not guarantee that planning permission will be granted; however we shall endeavor to make any reasonable amendments required by the planning officer concerned to help with the application.

The final outcome rests with the planning department and planning officer.

Completion of works on site is subject to Planning Consent and Building Control Approval.

All manufacturers to confirm measurements on site prior to production.

All dimensions, setting out, site investigation and soil reports to be done by the contractor prior to construction.

This drawing is subject to copyright and ownership of Bright Building Solutions Ltd.

Do not reproduce this drawing without prior permission from Bright Building Solutions Ltd.

Revision Details	Date
Initial drawing	1/09/2023

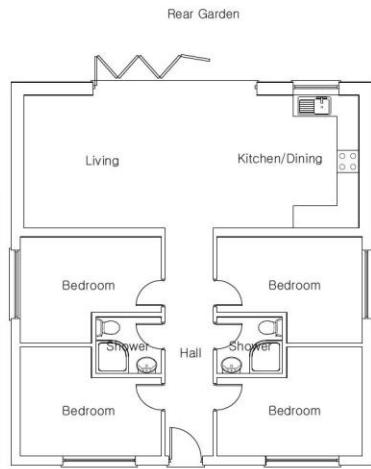
Bright Building Solutions
Architectural Consultancy
Building Surveying
Development Management
T: 0207 1128 796
F: 0207 1128 796

Project
8 Folgate Lane
Walpole St Andrew
PE14 7HY

Drawing Title
Location and Block Plans

Date	Scale	Drawn by
Sept 2025	1:500:1250@A4	GG
Drawing No 25/1040/PL-1	Revision	-

၁၃



Existing Floor Plan



Proposed Floor Plan



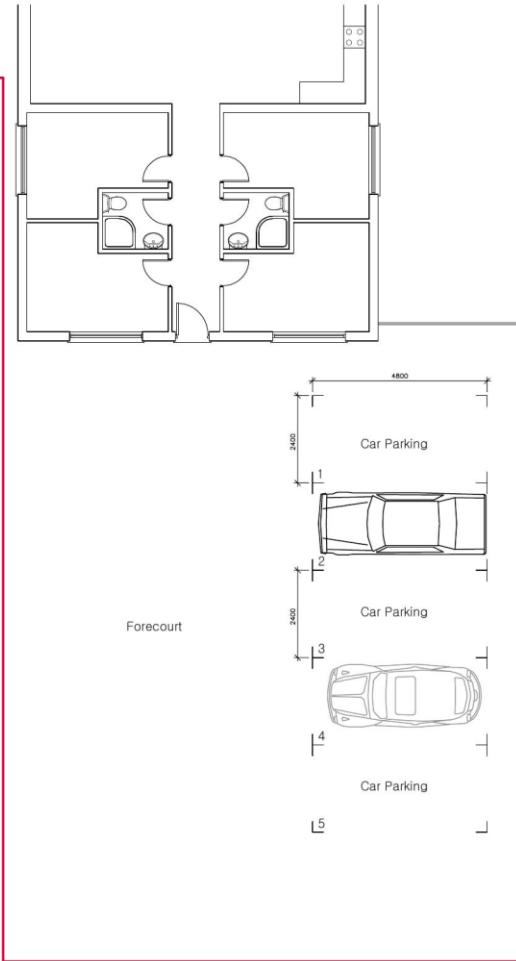
Planned
8 Folgate Lane
Walpole St Andrew
PE14 7HY

Existing and Proposed Plans

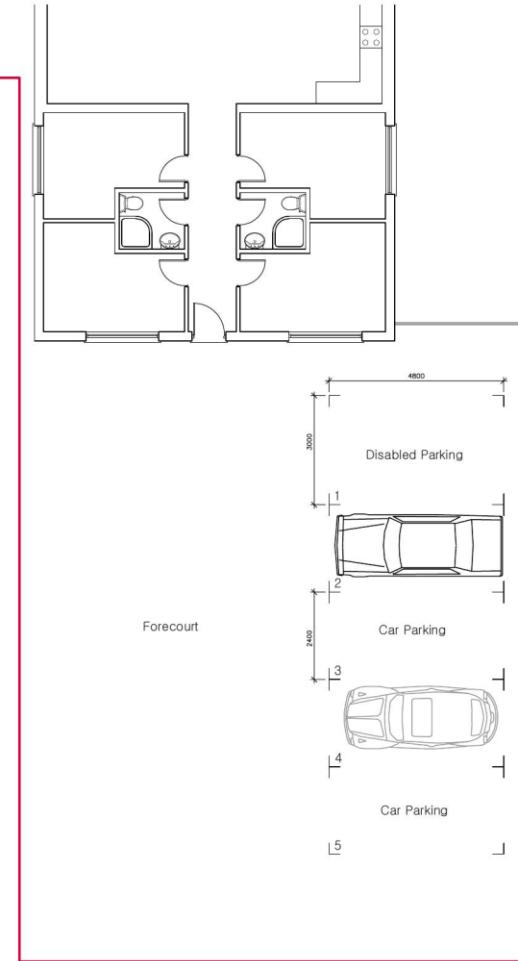
Date	Scale	Drawn by
Sept 2025	1:100@A3	GG
Drawing No	Revision	
25/1040/PL-2	-	

25/01660/CU

94

0 2 4 6 8 10
METRES
Scale 1:100

Existing Forecourt Parking Arrangements Plan



Proposed Forecourt Parking Arrangements Plan



Project	8 Folgate Lane Walpole St Andrew PE14 7HY
Drawing No.	Existing and Proposed Parking Arrangements Plans
Date	Sept 2025
Scale	1:1000/A3
Drawn by	GG
Revision	-
Drawing No.	25/1040/PL-3

25/01660/CU

96



96



97



86



66



100



101



102



Outbuilding in rear garden



103



104



105



901



107



108



Rear garden (looking east)



601



10







112

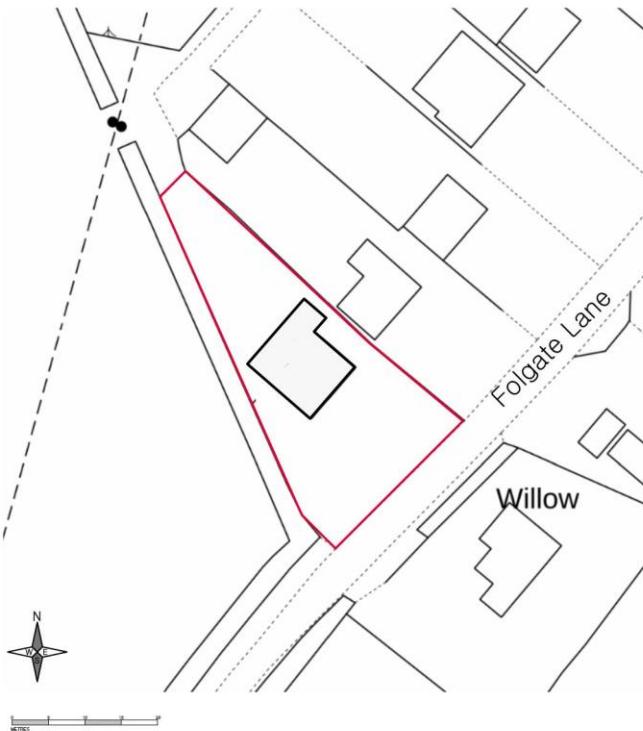
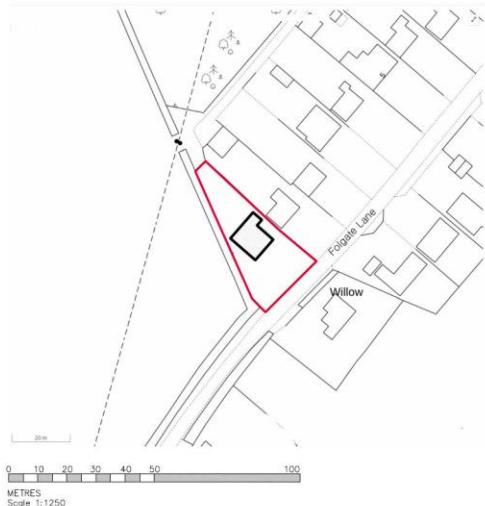


25/01661/CU

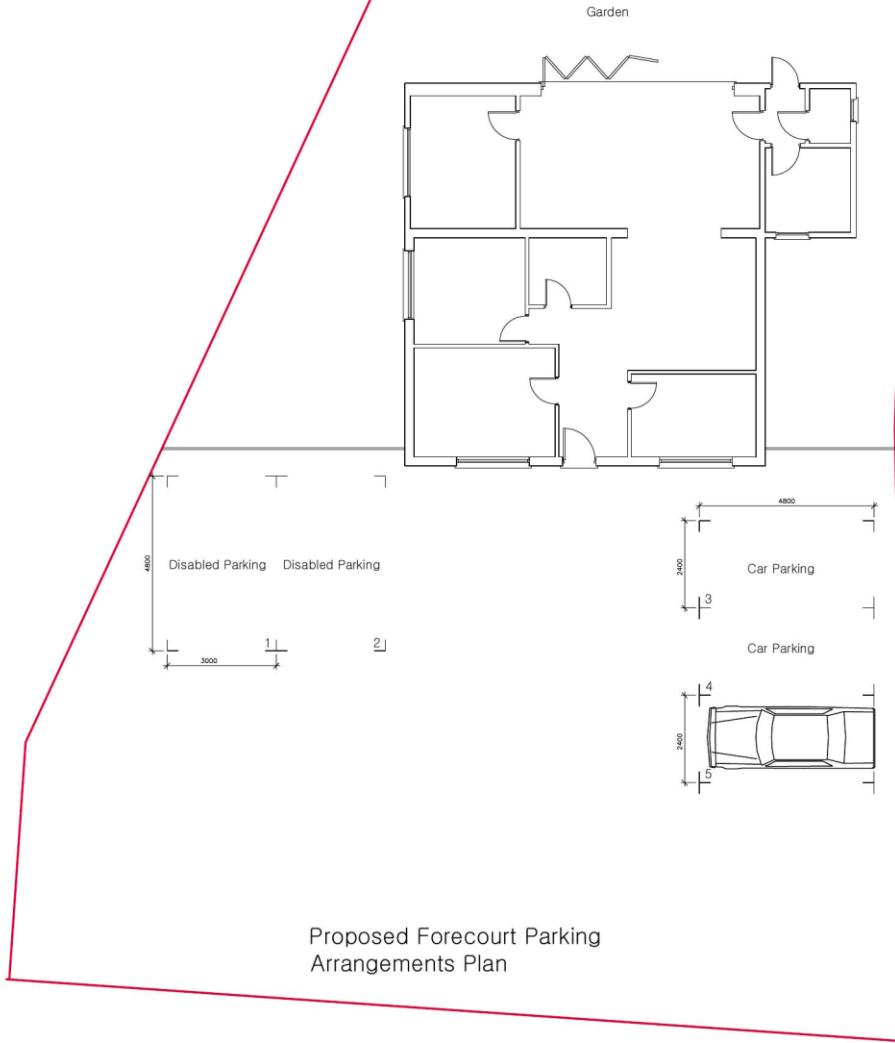
113



114



115



Issued: For Planning Consent Use Only.

Bright Building Solutions can not guarantee that planning permission has been granted. It is the responsibility of the developer to make any reasonable amendments required by the planning officer concerned to help with the application. The developer is responsible for any building control and planning officer. Commencement of works on site is subject to Planning Consent and Building Control Approval. All manufacturers to confirm measurements on site prior to production of any drawings. All dimensions, setting out, site investigation and site reports are the responsibility of the developer and contractor. This drawing is subject to copyright and ownership of Bright Building Solutions Ltd. Do not reproduce this drawing without prior permission from Bright Building Solutions Ltd.

Revision Details	Date
Approved by: [Signature]	Bright Building Solutions

Plot No: 10 Folgate Lane
Walpole St Andrew,
PE14 7HY
Drawing No: Existing Parking Arrangement Plan

Date	Scale	Drawn by
Sept 2025	1:100@A3	GG
Drawing No: 25/1041/PL-4	Revision	-

16



111



18



611



25/01661/CU

120



25/01661/CU

121



122



123



124



125



126



127



25/01661/CU

128



View of No 10 from No 9's garden



129



130

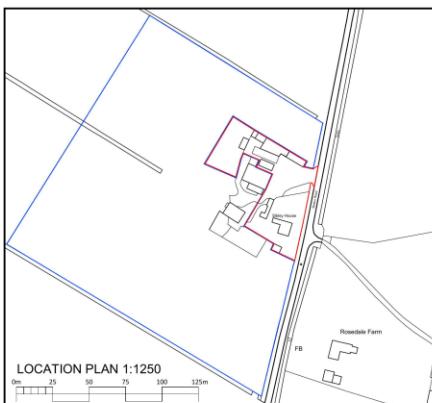
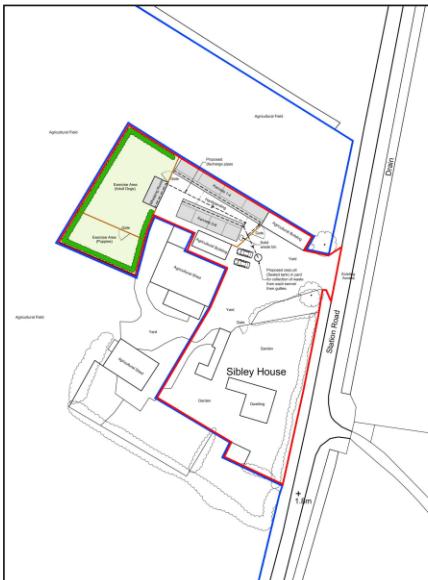
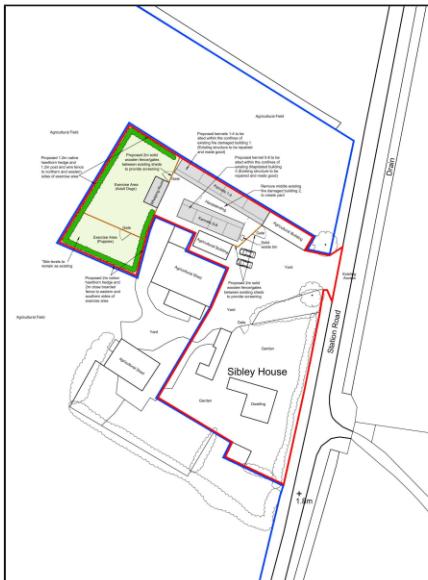
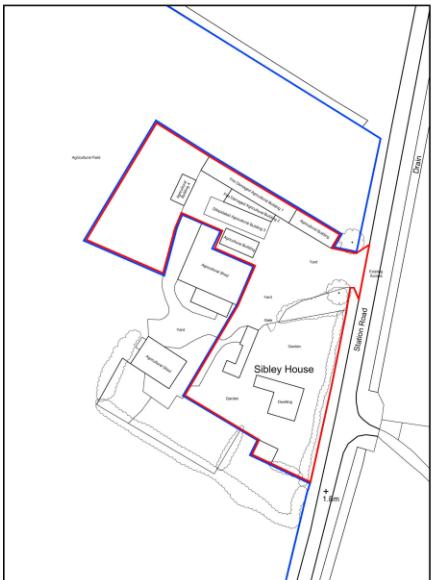


25/00275/F

131



132



PETER HUMPHREY
ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1HG.
TELEPHONE: 01945 465500
EMAIL: info@peterhumphrey.co.uk
WEB: www.peterhumphrey.co.uk

MICHELLE WADE

PROJECT
PROPOSED KENNELS

Site
LAND NORTH OF SIBLEY HOUSE
STATION ROAD
EMNETH
NORFOLK
PE14 8DL

DRAWING

LOCATION PLAN & PROPOSED SITE PLAN

Job ref: 6003SK01R Date date: FEB 2025

Notes:
This drawing is the copyright of Peter Humphrey Associates Ltd, and may not be
copied or reproduced without the written permission of the copyright owner.

All dimensions shown on the drawing are in millimetres unless stated otherwise. If
dimensions are given in two places, the first is the true dimension and the second
is the dimension to be checked on the drawing. All dimensions are to be checked on the
ground and any discrepancies should be reported to the surveyor.

The Construction (Design and Management) Regulations 2007

The Health and Safety at Work etc Act 1974

The Town and Country Planning (Consents) Regulations 1995

The Town and Country Planning (Development Management Procedure) Regulations 2008

The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990

The Town and Country Planning (Control of Nuisance) Regulations 2007

The Town and Country Planning (Highways) Act 1980

The Town and Country Planning (Planning Appeals) Act 1992

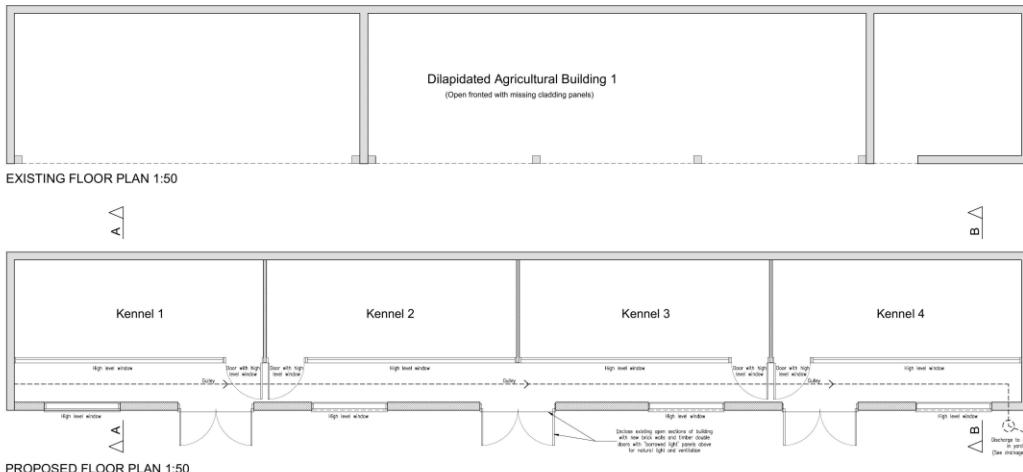
The Town and Country Planning (Safeguarding) Regulations 2008

BUILDING 1 - ELEVATIONS 1:100



BUILDING 1 - FLOOR PLANS 1:50

၁၃



卷之三



The logo for the Pennsylvania Housing Alliance (PHA) consists of the letters 'PHA' in a bold, blue, sans-serif font. The letters are partially overlapping, with 'P' on the left, 'H' in the center, and 'A' on the right. The 'P' and 'H' are a darker shade of blue, while the 'A' is a lighter shade, creating a three-dimensional effect.

PETER HUMPHREY
ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.
TELEPHONE: 01445 489966
E-MAIL: info@peterthompson.co.uk
WEBSITE: www.peterthompson.co.uk

CLIENT
MICHELLE WADE

PROJECT
PROPOSED KENNELS

LAND NORTH OF SIBLEY HOUSE
STATION ROAD

EMNETH
NORFOLK
PE14 8DL

EXISTING/PROPOSED BUILDING 1

JOB NO.	IMPER. SIZE	DATE
6903/SK02E	A1	FEB 2025

Notes:
This drawing is the permission of Peter Humphrey Associates Ltd. and may not be
reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If

the drawing is oriented horizontally (P01) so the top edge is the top edge of where it is printed to the current paper size. All dimensions to be checked on site

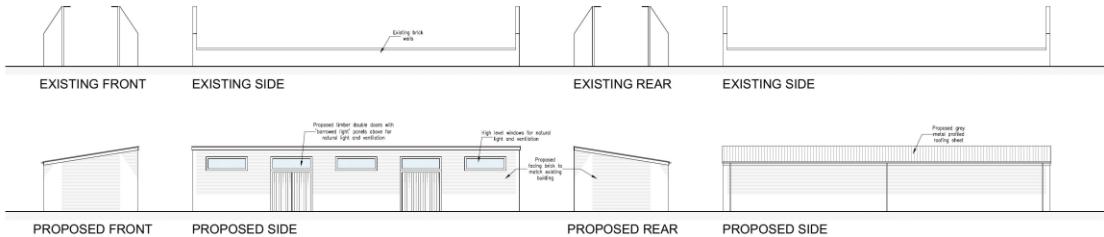
The Committee on Ethics and Noncompliance with Ethics

Peter Humphrey Assessment' home of opposition with the chief questions whether the specific is associated as 'Descent' or 'Species' 'Species' under Ross.

The finished project. No extraordinary hazards or risks were identified outside of the routine construction processes that would not already have been managed.

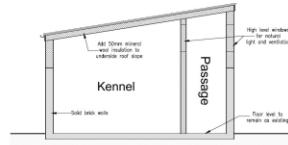
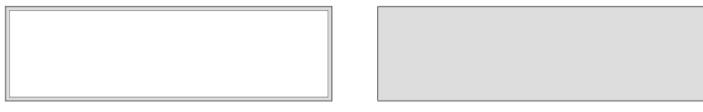
computer contractor

BUILDING 3 - ELEVATIONS 1:100

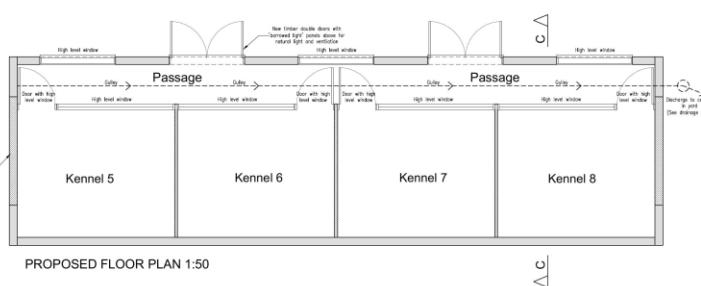
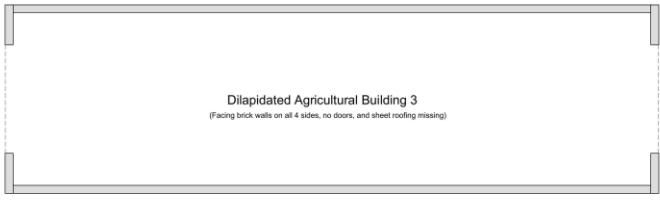


REVISIONS	
 PETER HUMPHREY ASSOCIATES	
ADDRESS: 1 CHAPEL ROAD, WISBECH, CAMB, PE1 1RQ. TELEPHONE: 01803 446906 FAX: 01803 446907 WEB: www.peterhumphrey.co.uk	
MICHELLE WADE PROJECT PROPOSED KENNELS	
WTB LAND NORTH OF SIBLEY HOUSE STATION ROAD EMBLETH NORFOLK PE14 8DL	
DRAWINGS EXISTING/PROPOSED BUILDING 3	
REF: 990528K002	PATCH SIZE A1
2 Feb 2005	
<small>The drawings are the property of Peter Humphrey Associates Ltd and may not be reproduced in whole or in part without the written permission of the company. All dimensions shown on the drawings are in millimetres unless otherwise stated. If the drawing is used elsewhere, the copyright notice must be clearly reproduced. The drawings are issued subject to the company's standard terms and conditions of sale.</small>	
<small>The Contractor (Design and Management Regulations 2007) - The drawings are issued to the contractor for the contractor's use only. The drawings are not to be reproduced in whole or in part without the written permission of the company. All dimensions shown on the drawings are in millimetres unless otherwise stated. If the drawing is used elsewhere, the copyright notice must be clearly reproduced. The drawings are issued subject to the company's standard terms and conditions of sale.</small>	
<small>The drawings are issued subject to the company's standard terms and conditions of sale. The drawings are issued subject to the company's standard terms and conditions of sale.</small>	

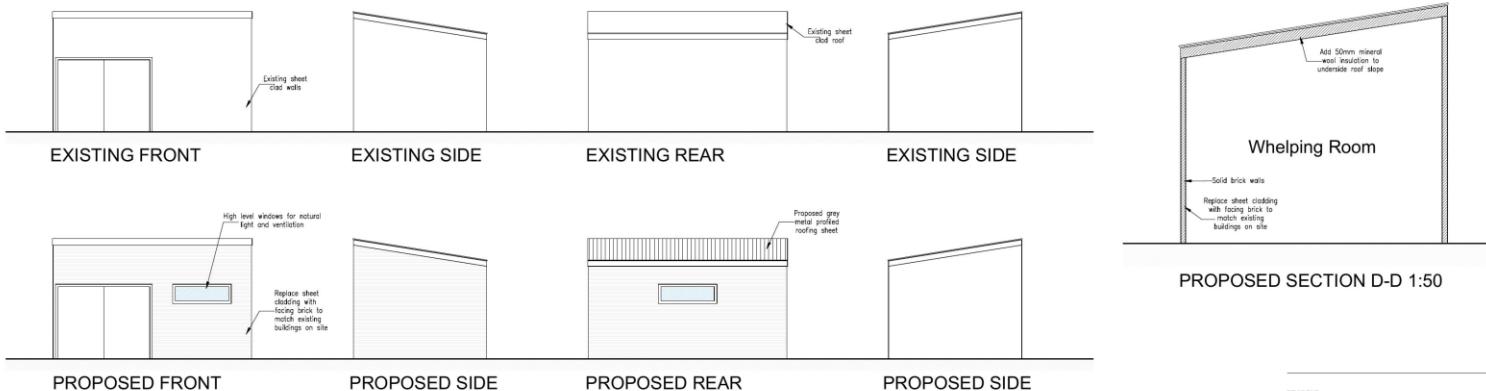
BUILDING 3 - ROOF PLANS 1:100



BUILDING 3 - FLOOR PLANS 1:50

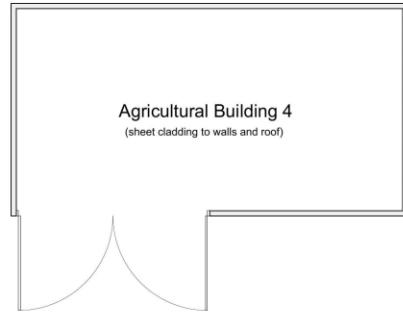


BUILDING 4 - ELEVATIONS 1:100

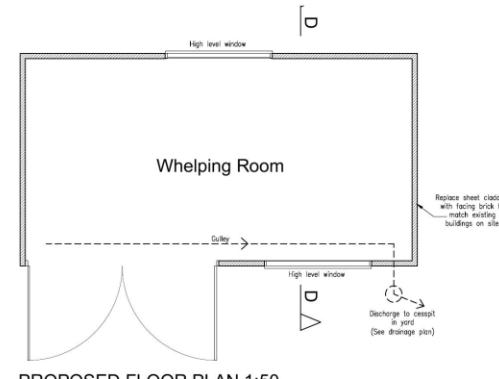


୧୩୮

BUILDING 4 - FLOOR PLANS 1:50



EXISTING FLOOR PLAN 1:50



100

EXISTING/PROPOSED ROOF PLAN 1:100

Borough Council of
**King's Lynn &
West Norfolk**

REVISIONS

PHA

**PETER HUMPHREY
ASSOCIATES**

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.
TELEPHONE: 01945 466966
E-MAIL: info@peterhumphrey.co.uk
WEB: www.peterhumphrey.co.uk

CLIENT
MICHELLE WADE

PROJECT
PROPOSED KENNELS

SITE
**LAND NORTH OF SIBLEY HOUSE
STATION ROAD
EMNETH
NORFOLK
PE14 8DL**

DRAWING
EXISTING/PROPOSED BUILDING 4

JOB NO:	PAPER SIZE	DATE
6903/SK04A		FEB 2025

Notes:

This drawing is the property of Peter Humphrey Associates Ltd. and may not be released, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. The drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site.

prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:

Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designated' or 'Principal Designated' under these.

The agent is appointed as Designer or Principal Designer under these regulations. Nevertheless, the design phase has been carried out with due

consideration for the safety during construction, occupation and maintenance of the building project. No subcontractor, however no risks were identified outside of

the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a

competent contractor.



Northern side of site access with parking

137



Farmyard context



138



Farmyard context – barns to the south of proposed kennels





Building 3 with Building 1 and 2 to right (fire damaged)



Fire damaged Buildings 1 and 2 (Building 2 to be removed)

141



Buildings 1 and 2 (fire damaged)

142



Fire damaged Building 2 to be removed



143



25/00275/F

Slide No. 143



Whelping Room

145



→ Unauthorised kennels on proposed exercise field



146



Unauthorised kennels

25/00275/F

147



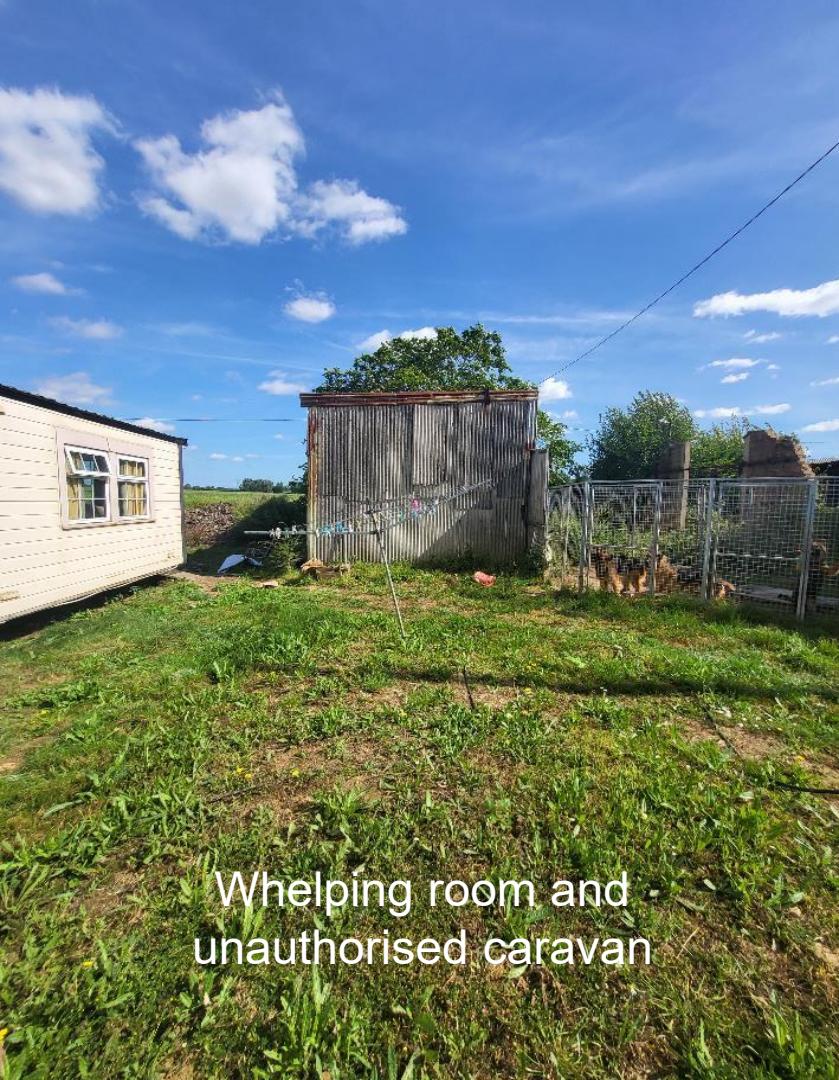
View from kennels

148



View from kennels

149



Whelping room and -
unauthorised caravan



051



Unauthorised residential caravan

2/TPO/00709

151



Location of Woodland TPO

152



2/TPO/00709

Location of Woodland TPO

153



View from north along Spring Lane

151



View along Spring Lane from south

155



View looking into the wood from Spring Lane -
further south

9G1



Poor pruning to cherry tree and some clearance

157





Felled established oak tree

Pruning and young tree felling

159





Poor pruning to mature Oak tree



161

Young tree felling/poor pruning



2/TPO/00709

162



Felled young trees lying on ground



Speaker Slide - Andy Panteli



Exhibit 1

2/TPO/00709

Slide
No. 163



164



EXHIBIT 2

2/TPO/00709

Slide
No. 164

165



991



167



168



End of Presentation

169

